



Roebourne Gaol Feasibility Study

Report prepared for



by



June 2017

Cover Image: Roebourne Gaol: Photograph taken by Hocking Heritage Studio, May 2017

Copyright

This report is copyright to City of Karratha and Hocking Planning & Architecture Pty Ltd, trading as Hocking Heritage Studio. This report cannot be reproduced, in whole or in part, for any purposes apart from those permitted under the Copyright Act or use for professional or financial benefit by other professional consultants and / or building trade contractors without prior approval of City of Karratha and Hocking Heritage Studio.

HHS Job No. 2017-06

Rev No	Author	Reviewer		Date
A	Gemma Smith Yen Nee Goh Hocking Heritage Studio	David Baessler Katie O'Neil	Baessler Construction City of Karratha	8 June 2017
B	Gemma Smith Yen Nee Goh			26 July 2017

Executive Summary

This feasibility study has been commissioned by the City of Karratha to assess the viability of conservation and adaptive re-use options for the Roebourne Gaol buildings.

The Roebourne Police, Court House and Gaol Precinct, of which the subject properties form part, are fundamental to the sense of place within Roebourne and its local distinctiveness. They also represent a major economic asset in terms of their capacity to accommodate new uses which would enable them to be cost efficient and contribute to the local economy.

The retention of Roebourne Police, Court House and Gaol Precinct is vital to our understanding of an early way of life in a harsh environment; the treatment of the Aboriginal population; the emergence and development of the Roebourne settlement and its subsequent demise; law and order in the late 1800s – early 1900s; and the architectural skills and construction methodologies of the government architects.

The landmark buildings have operated as a small museum but are largely vacant and underutilised. They provide an opportunity to once again contribute to the way of life in the small Pilbara town through conservation and adaptation.

The buildings forming the Roebourne Police, Court House and Gaol Precinct are variously owned by Department of Lands, Department of Justice and the Police. For the purposes of this report and for City of Karratha's consideration, only six of the gaol complex buildings are being considered for transfer:

- B2: 1887 Cell Block
- B3: 1887 Kitchen Building
- B4: 1887 Police Quarters
- B5: the smaller 1896 Cell Block
- B6: the larger 1896 Cell Block
- B10: 1896 Gaoler's Quarters

The buildings are in various states of repair ranging from being in sound condition that could easily be occupied to ruinous states that need to be managed before they are lost. Some of the buildings have until recently been used as the Roebourne Tourist Office and by the Roebourne Art Group. The Roebourne Art Group occupied B4: fmr Police Quarters and have recently moved into B5: 1887 Cell Block. Buildings B3: Kitchen/Day Room and B2: 1887 Cells are currently uninhabitable and in a ruinous condition and B10: Gaolers Quarters is unoccupied.

In determining whether to take on the management of these six buildings, the City of Karratha must consider the risk management implications and the options available including demolition; partial demolition/partial conservation; full restoration and retention of original use through interpretation; or full restoration and introduction of new compatible use together with the cost and management implications for each option.

Any decision must be cognisant of the heritage significance of the precinct and change should not harm this significance. Historic buildings are generally capable of being adapted for new use but these should still honour the former gaol use.

The key objectives of this report are:

- Present a basic historical documentation of the six buildings within the Roebourne Gaol Precinct and their context;
- Assess the physical condition of each building;
- Assess the various constraints that are likely to impact on the future use of the buildings;
- Evaluate options for the future use of the buildings;
- Present cost estimates for these options; and
- Provide a brief outline scope of urgent conservation works required to maintain these places

Contents

Executive Summary	3
1.0 Introduction	6
1.1. Background Information	6
1.2. Location	7
1.3. Heritage Listing	9
1.4. Study Team	10
1.5. Acknowledgements	10
2.0 Statement of Significance	11
3.0 Chronology of Development of Lot 11 – Roebourne Gaol.....	13
4.0 Physical Evidence	19
4.1. B2: 1887 Cell Block	20
4.2. B3: 1887 Kitchen and Day Room Building	22
4.3. B4: 1887 Police Quarters	25
4.4. B5: Smaller 1896 Cell Block.....	28
4.5. B6: the larger 1896 Cell Block	31
4.6. B10: 1896 Gaoler’s Quarters	35
4.7. Site Description	38
5.0 Significance of the Place	40
5.1. Assessment of Significance.....	40
5.1.1. Aesthetic Value	40
5.1.2. Historic Value.....	41
5.1.3. Scientific Value	42
5.1.4. Social Value	42
5.1.5. Rarity	42
5.1.6. Representativeness.....	43
5.1.7. Condition.....	43
5.1.8. Integrity	43
5.1.9. Authenticity	43
6.0 Constraints Affecting Future Use	44
7.0 Conservation and Adaptive Re-use.....	46
7.1. B2: 1887 Cell Block.....	47
7.2. B3: 1887 Kitchen/Day Room	57

7.3.	B4: 1887 Police Quarters	67
7.4.	B5: the Smaller 1896 Cell Block	77
7.5.	B6: the Larger 1896 Cell Block	85
7.6.	B10: 1896 Gaoler's Quarters	95
7.7.	Site.....	106
8.0	Cost Estimates	109
9.0	Tourism in Roebourne	110
10.0	Case Studies	112
11.0	Conclusion	115
11.1.	Recommendations.....	115
12.0	Appendix	116

1.0 Introduction

1.1. Background Information

This feasibility study has been commissioned by the City of Karratha to assess the viability of conservation and adaptive re-use options for the Roebourne Gaol buildings.

The Roebourne Police, Court House and Gaol Precinct, of which the subject properties form part, are fundamental to the sense of place within Roebourne and its local distinctiveness. They also represent a major economic asset in terms of their capacity to accommodate new uses which would enable them to be cost efficient and contribute to the local economy.

The retention of Roebourne Police, Court House and Gaol Precinct is vital to our understanding of an early way of life in a harsh environment; the treatment of the Aboriginal population; the emergence and development of the Roebourne settlement and its subsequent demise; law and order in the late 1800s – early 1900s; and the architectural skills and construction methodologies of the government architects.

The landmark buildings have operated as a small museum but are largely vacant and underutilised. They provide an opportunity to once again contribute to the way of life in the small Pilbara town through conservation and adaptation.

The buildings are currently under the ownership of Department of Lands with City of Karratha investigating the possibility of transferring them into their management. The buildings on the site are variously owned by Department of Lands, Department of Justice and the Police. For the purposes of this report and for City of Karratha's consideration, only six of the gaol complex buildings are being considered for transfer:

- B2: 1887 Cell Block
- B3: 1887 Kitchen Building
- B4: 1887 Police Quarters
- B5: the smaller 1896 Cell Block
- B6: the larger 1896 Cell Block
- B10: 1896 Gaoler's Quarters

The buildings are in various states of repair ranging from being in sound condition that could easily be occupied to ruinous states that need to be managed before they are lost. Some of the buildings have until recently been used as the Roebourne Tourist Office and by the Roebourne Art Group. The Roebourne Art Group occupied B4: fmr Police Quarters and have recently moved into B5: 1887 Cell Block. Buildings B3: Kitchen/Day Room and B2: 1887 Cells are currently uninhabitable and in a ruinous condition and B10: Gaolers Quarters is unoccupied.

In determining whether to take on the management of these six buildings, the City of Karratha must consider the risk management implications and the options available including demolition; partial demolition/partial conservation; full restoration and retention of original use through interpretation; or full restoration and introduction of new compatible use together with the cost and management implications for each option.

Any decision must be cognisant of the heritage significance of the precinct and change should not harm this significance. Historic buildings are generally capable of being adapted for new use but these should still honour the former gaol use.

The key objectives of this report are:

- Present a basic historical documentation of the six buildings within the Roebourne Gaol Precinct and their context;
- Assess the physical condition of each building;
- Assess the various constraints that are likely to impact on the future use of the buildings;
- Evaluate options for the future use of the buildings;
- Present cost estimates for these options; and
- Provide a brief outline scope of urgent conservation works required to maintain these places

1.2. Location

The Roebourne Gaol Complex is located within Roebourne town centre, at the intersection of Carnarvon Terrace and Queen Street. The complex occupies an irregular shaped site bounded to the north by Queen Street, to the west by Hampton Street and the east by Carnarvon Terrace (NW Coastal Hwy) and to the south by green open space.

Roebourne is approximately 40kms to the east of Karratha and approximately 1500kms to the north of Perth with Carnarvon Terrace being part of National Route 1.

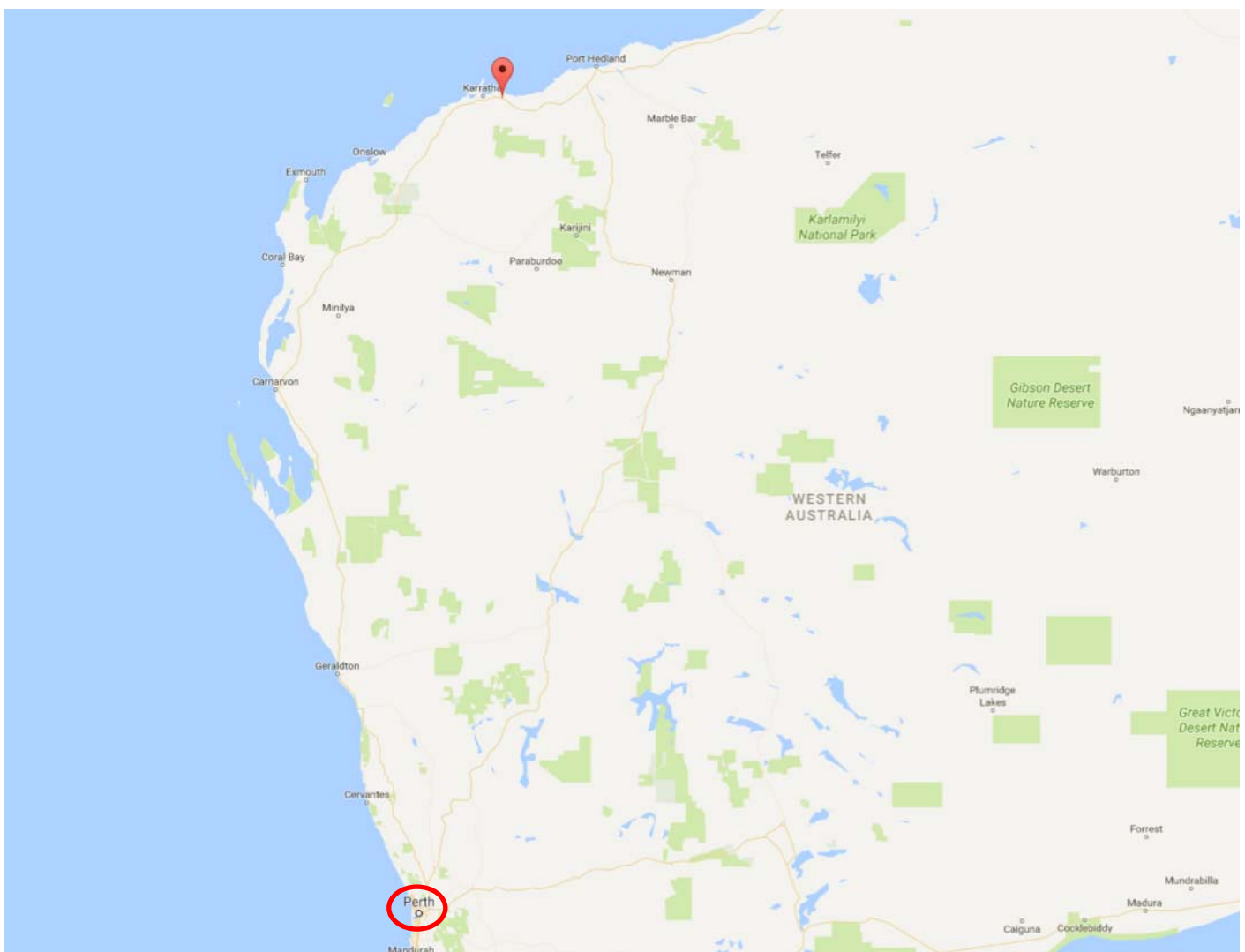


Figure 1: Roebourne in a state context
Courtesy Google Maps, 2017



Figure 2: Roebourne in a regional context
Courtesy Google Maps, 2017

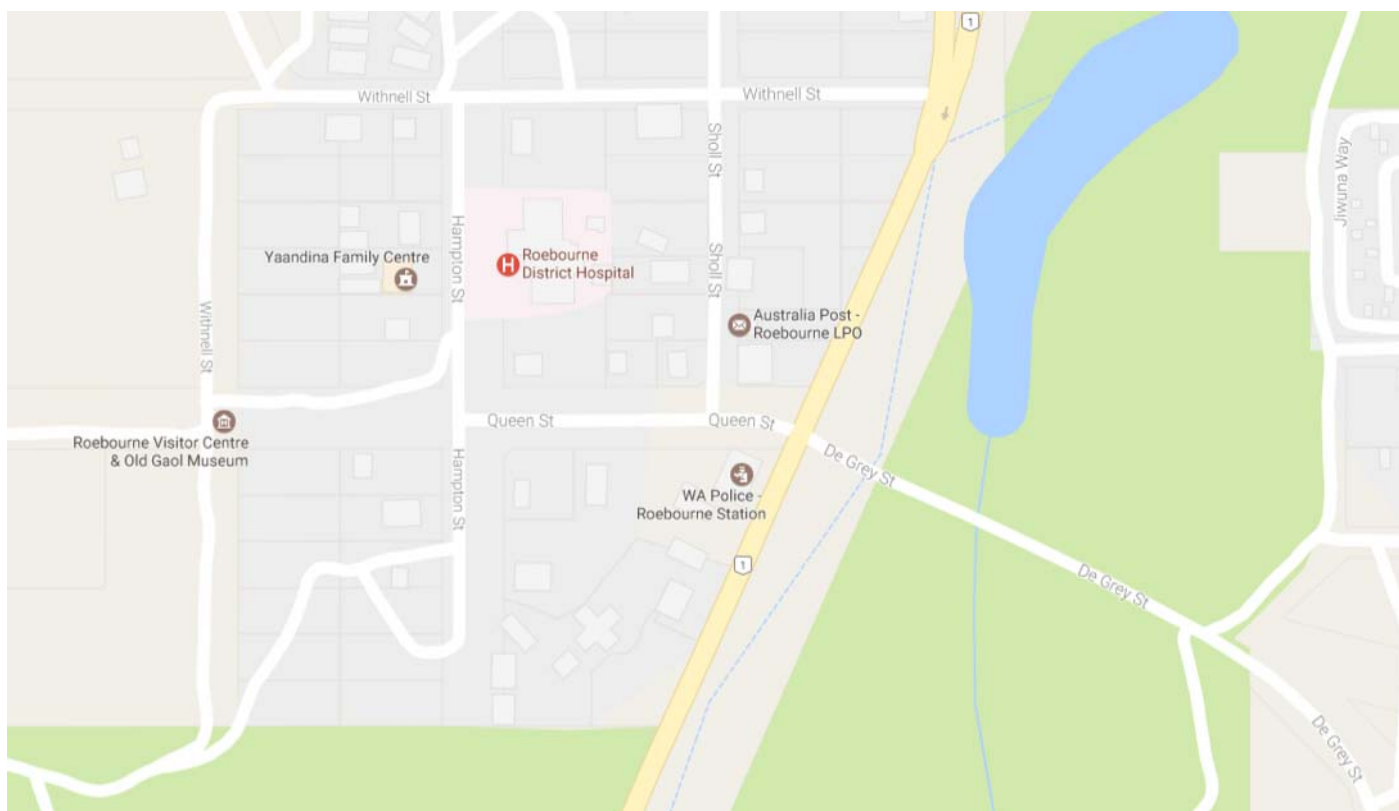


Figure 3: Roebourne in a local context
Courtesy Google Maps, 2017



Figure 4: Roebourne Gaol Complex
Courtesy Nearmap, 2017

1.3. Heritage Listing

Roebourne Gaol Complex benefits from the following heritage listings:

Register of Heritage Places	Interim Entry	16/10/1992
	Permanent Entry	20/10/1995
Register of the National Estate	Registered	30/06/1992
Classified by the National Trust	Classified	06/03/1984
Municipal Inventory	Adopted	01/09/2013
Heritage List	Yes	
Other legal agreement	Completed	10/04/2003

1.4. Study Team

The project team consists of:

- Gemma Smith, MSc Hist Cons, BSc Est Man, Grad Dip Law
- Yen Nee Goh, B.App Sc, B Arch (Hons)
- Prue Griffin, BA History, Post Grad Diploma Public History, Master App Cultural Heritage Studies
- Marlene del Campo – Architectural Draftsperson
- Peter Baxendale, Heritage Engineer, BEng Civil Engineering

1.5. Acknowledgements

The authors of this report wish to thank the following individuals and organisations for their assistance in the preparation of this report:

- Katie O'Neill and John-Paul MacDonagh, City of Karratha
- Cr Peter Long
- Cr Grant Cucel
- Cr Robin Vandenberg
- David Baessler, Baessler Construction, Roebourne
- Eileen Wright, NYFL
- Roebourne Art Group
- Staff at Roebourne Visitor Centre
- Staff at Karratha Visitor Centre

2.0 Statement of Significance

The following statement of significance has been taken from the register documentation prepared by Heritage Council of Western Australia in connection with permanent entry of the place into the State Register.

Roebourne Police, Court House and Gaol Precinct comprises the Court House (1886)(B1), 1887 Cell Block (B2), Kitchen Day Room (1887)(B3), 1887 Quarters (B4), Smaller 1896 Cell Block (B5), Larger Cell Block (B6), Police Station (1896)(B7), 1896 Lockup (B8), Warder's Quarters (B9), Gaoler's Quarters (1896)(B10), House of Police Officer in Charge (1960s)(B11), Police Recreation Block (1980s)(B12), 1981 Lockup (B13), Garage and Charge Room (1981)(B14), Sobering Up Centre (1960s)(B16) and the Dry Stone Retaining Walls (1890s) which separate the differing levels of the Precinct, has cultural heritage significance for the following reasons:

- The place is of cultural significance as a modified landform and built environment comprising: buildings, walls, plantings and open space, reflecting its period of development as a Government Reserve associated with the administration of the law;
- The place is closely associated with the construction of public works in the North West Region of Western Australia;
- The place is also associated with the diverse activities of the town during the closure of the Gaol; the town Power House; the motor repair shop; the town freezer; the oil company; and Country Water Supply depot;
- The fabric of the place demonstrates a sense of aesthetic harmony achieved through the use of local stone in the walls and corrugated iron roofs;
- The buildings have technical interest in the adaptations to the climate of their design;
- The place has aesthetic qualities through the use of stonework and corrugated iron composed into satisfying architectural forms;
- The place is a landmark when viewed from the southern approach to the town;
- The place is held in high esteem by local groups within the town and by people in the State at large and is used as a learning centre by local groups; and
- The place is a rare example of a complex embracing the functions of Police Station, Court House and formerly those of the Gaol, which is divided into discrete zones by the dry stone retaining walls.

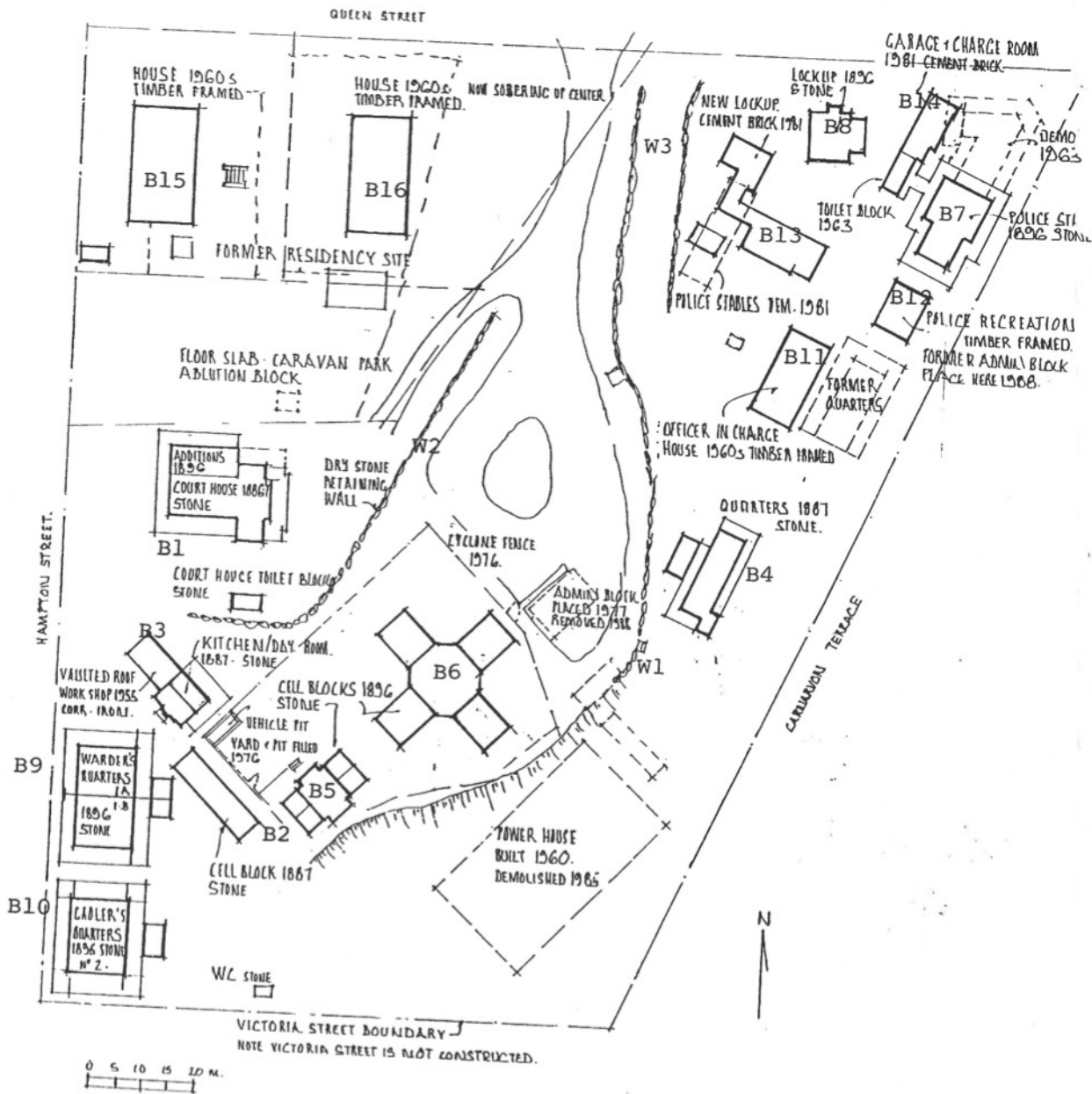


Figure 5: Precinct Plan

Courtesy Conservation Plan for the Police, Court House and Gaol Precinct, Roebourne, Western Australia prepared for the Building Management Authority on behalf of the Department of Land Management and Police Department, 1994 by Members of the Cultural Environment Committee of the National Trust of Australia (WA)

3.0 Chronology of Development of Lot 11 – Roebourne Gaol

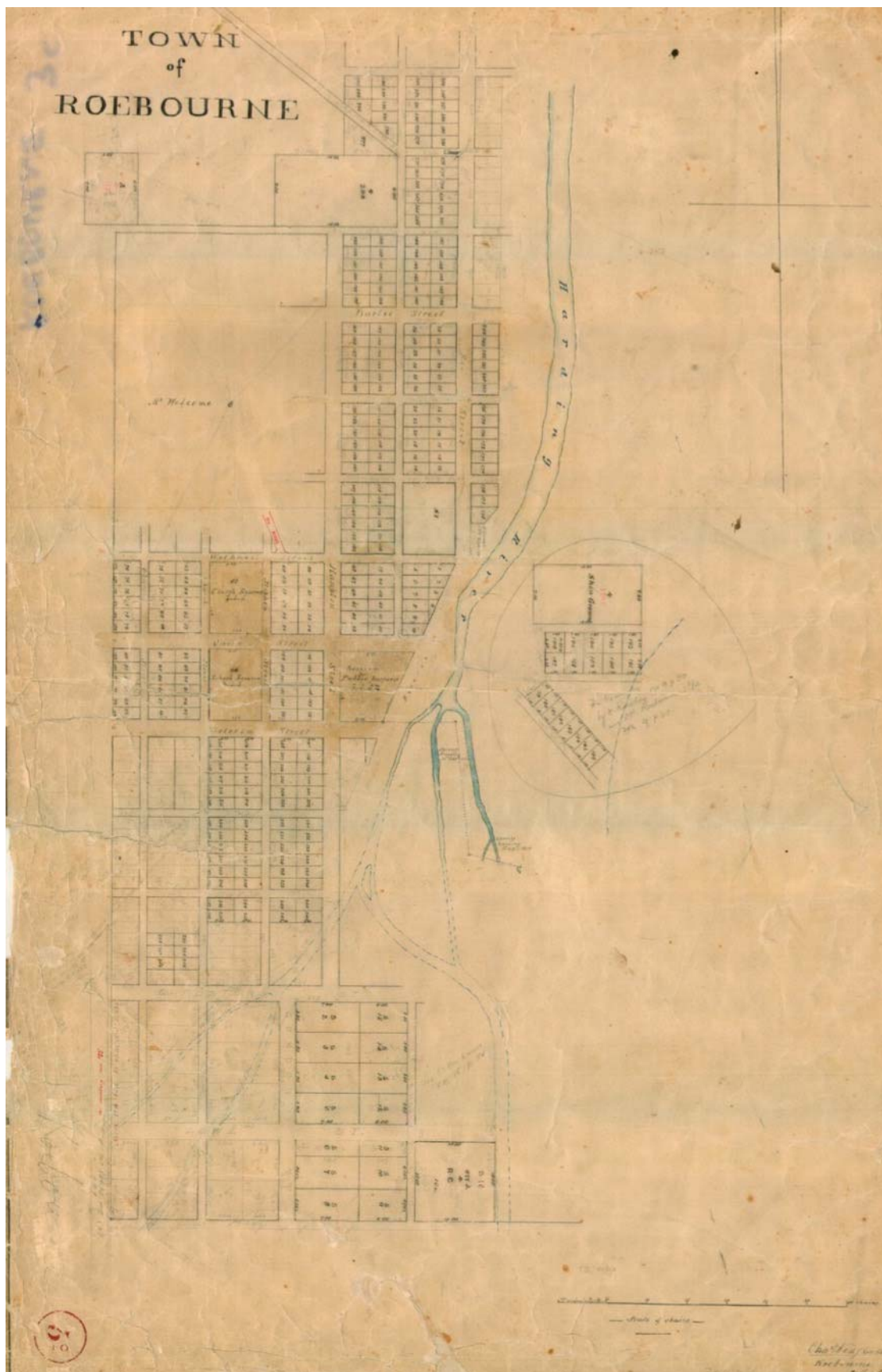


Figure 6: Townsite Plan, 1866

Courtesy State Records Office, cons_3868_item_379

An article in the West Australian, 11 May 1885, described Roebourne as follows:

"The township of Roebourne stands on the bank of the Harding, and is built on the slopes of Mt. Welcome, distant 9 miles from the port of Cossack.

The town contains about fifty houses, including a Church (English), Mechanic's Hall, Government School, Residency and a new stone building now in course of erection, which is intended for police quarters and lock up.

The 'North West Australian Mercantile Company Limited' occupies a good substantial stone building, from which the wants of the neighbourhood are supplied. The hotels provide entertainment for man and beast, but at times when the races are on or steamers arrive the accommodation is limited.

Upon approaching Roebourne a stranger is struck with the peculiar aspect of the buildings, which are of varied and motley description and nearly all presenting a low squab appearance. They are chiefly of wood, with roofs of corrugated iron fastened down with stout battens firmly bolted through the rafters. Upon closer examination the rafters will be found bolted to the wall plated, and in turn the latter are clamped down to the uprights. When inquiring why such a quantity of iron is used, the reply is "willy willy" the native word for cyclone, the meaning of which is very clear to all who have resided a few years in Roebourne."



Figure 7: View of the north end of Roebourne
Courtesy Newspaper Collection, State Library of Victoria

Chronology

- | | |
|------|--|
| 1861 | Francis Thomas Gregory led an expedition to explore the north west section of Western Australia, arriving at the head of Nickol Bay, landing close to the site that was to become Roebourne. Following his explorations, Gregory provided favourable reports on pastoral and pearling opportunities in the region. |
| 1863 | The first settlers arrived and established Andover Station |
| 1864 | The Withnell family (cousins of Gregory) arrived in 1864 who established the Mt Welcome Station, taking up 30,000 acres at the foot of Mt Welcome. |
| 1865 | The population of the area had grown to about 200, with the Withnells' property serving as a local community hub, being located at a natural crossroads between Cossack and the |

outlying stations. John Withnell opened a store and provided cartage services to the other settlers. Prior to the construction of a church in the area, services were held in their home.

- 1865 The Government Resident, Robert John Sholl (1819–86), arrived in November 1865 from the failed Camden Harbour settlement (near Kuri Bay) to provide assistance in developing the region and set up camp near the Withnells' home while trying to find a suitable townsite. He eventually decided to locate the new town at his camp, noting:

*"he had chosen an elevated site which was free of mangroves and had useful timber and stone suitable for building purposes. It was a sheltered site and had plenty of good water which could be obtained by digging. Cultivation was possible with irrigation. It has easy access to the inland and the coast."*¹

- 1866 On 17 August 1866, after surveyor Charles Wedge drew a draft plan consisting of 106 lots, Roebourne became the first gazetted town in the North West. It became the region's administrative centre and various government buildings, shops, services and hotels set up business. Sholl himself served as Justice of the Peace, district registrar and magistrate.
- 1866 The contract drawings for the first residency are dated 1866 and signed by Richard Roach Jewell, Clerk of Works for the Public Works Office. No drawings of the first court house have been found.
- 1874 Two plans dated 1874 exist under the signature of Richard Roach Jewell. One is for the additions to the constable quarters at Roebourne and one is titled "Plan of Dwelling for Police Buildings – Sergeants Quarters". It is not known where in the precinct this building was, if ever, constructed.
- 1875 A plan drawn by Surveyor Charles Wedge 1875 shows a small number of buildings in the town including two buildings on Lot 11. The building closest to the centre of the lot was possibly the first court house and the smaller building to the north, the first residency.
- 1876 In 1876, a tender was awarded to Mason Bird & Co for the supply, of 3,000 feet of 7'x1" jarrah boarding for use in the construction of the Roebourne police lockup.²
- 1882 In 1882 tenders were called for the construction of an additional cell and day room. The buildings were attributable to RR Jewell.
- 1883 In 1883 David Grey was awarded a contract to construct the new residency. The building was attributable to Jewell and is believed to have been constructed from bricks cut from ant hills, as this was the material that had been used in the construction of the nearby Tambrey Station Homestead.
- 1884 A further tender was awarded on 26 November 1884 to Frederick Platt for the construction of police quarters though the location of this building has not been confirmed.
- 1886 On 17 August 1886 a contract was let to AB Wright for the construction of the extant Court House, completed in 1887. A further contract was awarded to Wright in 1887 for the construction of additional cells at Roebourne. The drawing does not bear any architect's signature, but does contain the Engineer's signature, Alex Morris however it is believed that the drawing was the work of George Temple Poole.

¹ Withnell Taylor N. E., *A Saga of the North-West Yeera-Muk-A-Doo: An Authentic history of the first settlement of North-West Australia told through the Withnell and Hancock families 1861 to 1890*, 2002, Hesperian Press, Carlisle, WA

² West Australian Government Gazette, 1876 p. 106

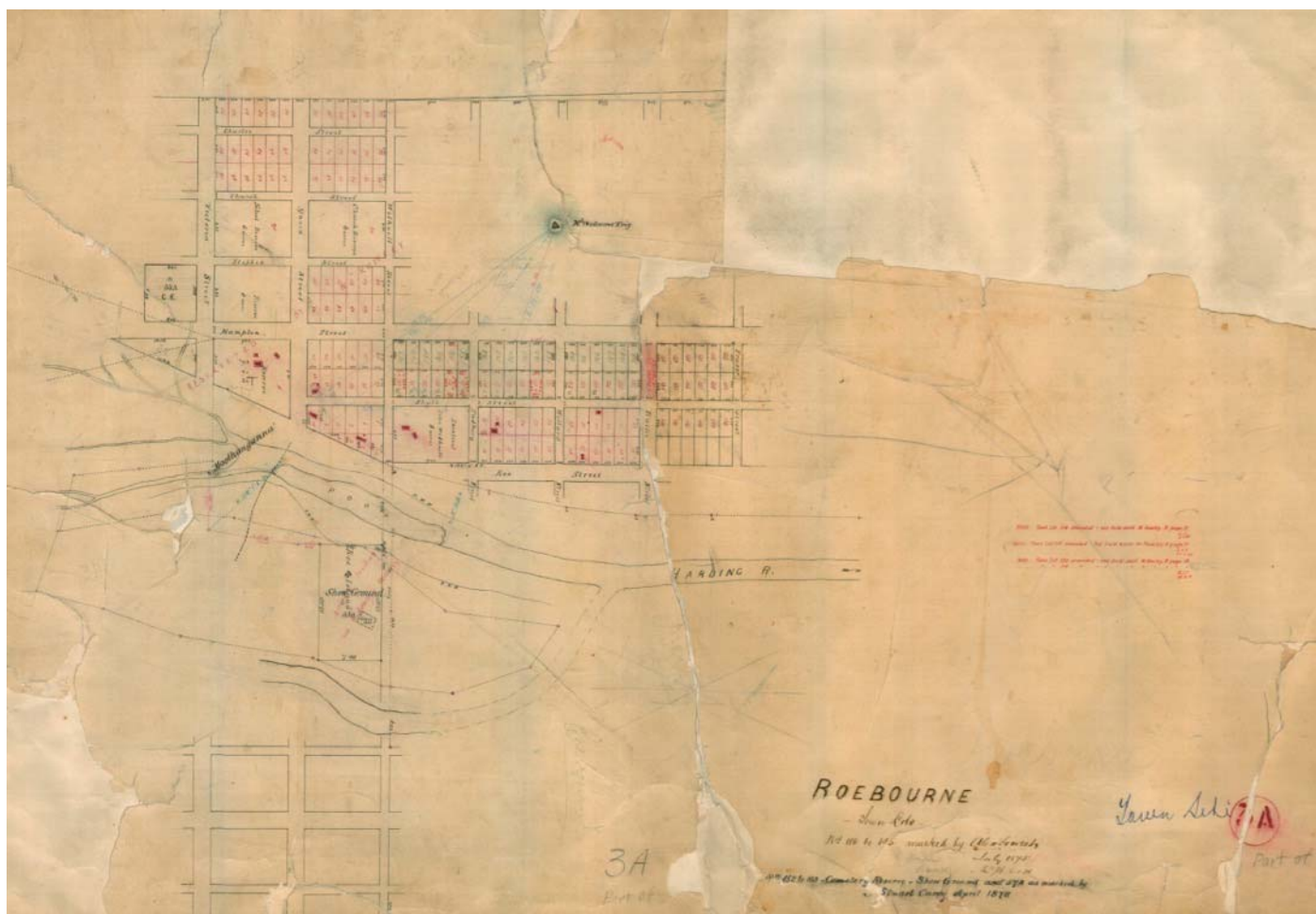


Figure 8: Roebourne Townsite Plan, 1878
Courtesy State Records Office

- 1887 Also in 1887, a contract was awarded to Pratt and Mackie to construct additions. This has been defined as being the Kitchen and Day Room.
- PWD Drawing No 156 dated 2 February 1887 and titled 'Police Constable's Quarters' shows a stone building in which the plan conforms to that of the extant building facing Carnarvon Terrace.
- 1896 In January 1896, a contract was awarded to SM Stansmore to build the two gaol cell blocks. In July of the same year, Stansmore was also awarded the contract to construct the Police Station and Quarters.
- 1897 He was awarded the contract for the Court House additions in 1897 and the contract for the Gaoler's and Warder's Quarters in August the same year, followed by the Police Stables in October 1897.
- 1924 As a result of a declining population the gaol closed in 1924 and the remaining prisoners were transferred to other establishments. The gaol building and Gaoler's and Warder's Quarters were used for various purposes but the Police Station and Lock-up remained functioning in their intended purpose.
- Unknown date Following the closure of the gaol, trees were planted to the north east of the Precinct around the Police Station and to the south west corner of the site around the Gaoler's and Warder's Quarters.

- 1955 Around 1955 the vaulted roofed corrugated iron shed was constructed adjoining the north face of the Kitchen /Day Room building and was used as a service station.
- 1960 In 1960 a power station was constructed to the south east corner of the Precinct. This was a large corrugated iron clad shed.
- 1972 By late in 1972 it was realised that the prison was becoming too overcrowded and it was decided to reopen the old gaol buildings as the Roebourne Regional Prison pending the construction of a modern regional prison on another site. The reopened prison was to be vested in the Chief Secretary and administered by the Department of Corrections.
- 1974 The contract for "Roebourne Prison Restoration - Main Cell Blocks, Alterations to Quarters - Four Sleepout Additions" was let R.R & L. E. Rushton and completed in April 1974. A.E.Clare was the PWD Principal Architect. Separate contracts for drainage and plumbing and for electrical work were let to Lyons & Pearce and O'Donnel Griffin respectively.
- 1975 A proclamation of 27th August 1975 closed the Roebourne Police Gaol and transferred the prisoners to the Roebourne Regional Prison.
Kitchen equipment had been temporarily set up in the western wing of the cell block
- 1976 A further proclamation of 12th March 1976 declared the prison on lot 693 as enclosed in Reserve 3357 as registered on the Department of lands and surveys diagram 8157. The second of these proclamations was made necessary as the first included the whole of reserve 3357 in the Regional Prison site. This meant that buildings other than prison buildings were included as part of the prison. This situation contravened the Prisons Act the occupation of the prison was delayed until a cyclone wire fence could be built around the Cell Blocks, the position of the fence surveyed and the area within it gazetted as lot 693.
- 1977 In 1977 Dura Built Pty Ltd established transportable buildings on the site to provide a kitchen, laundry and store.
- 1978 In June 1978, The Government Employees Housing Authority made application to the Surveyor General for the excision from the Public Buildings Reserve 3357 of areas which contain two houses which had been acquired from the PWD by Statistical Transfer 1965 and 1973. This was confirmed in the Government Gazette of 21st December 1979 with the splitting off of lots 704 & 705 (705 should read 750) from Reserve 3357 lot 11. Lot 704 is the old Residency site. The 1883 Residency was demolished in 1958 and replaced by a timber framed asbestos clad house. Lot 750 contains the old Gaoler's Quarters. The old Warder's Quarters, the duplex, is excluded from this transaction.
- 1981 With growing pressure for accommodation, the 1887 Quarters on Carnarvon Terrace were absorbed into the gaol complex and utilised as the women's prison. To enable this to occur the Government Gazette of 13th February 1981 announced that Reserve 3357, Roebourne lot 11, was to exclude lot 748 as shown on diagram 8437. Thus lot 748 became the enlarged Regional Prison site.
- 1982 In November 1982 Walker and Morris Constructions was awarded the contract to construct the new Police Lockup on the site of the old stone stables of 1897, the new charge room, store and garage attached to the Police Station toilet block and the upgrading of the 1896 lockup building for use as juvenile cells.
- 1984 With the completion of the new regional prison, some six kilometres to the north of Roebourne, the old complex was finally closed in 1984. The Police Station and lockup buildings remained in operation.
- The Government Gazette of 31st August 1984 announced the amalgamation of lots 748 and 750 into Reserve 3357 Roebourne lot 11. A Vesting Order of 21 August 1984 vested the reserve

in the Minister for Works.

1985 The Power House which had become redundant with the connection of the town to the SEC grid, was removed in 1985.

4.0 Physical Evidence

The physical assessment undertaken for this report focussed on the six subject buildings which are being considered for transfer to City of Karratha. The remaining buildings within the complex did not form part of this study. The physical assessment will help determine the conservation works required and actions to be taken to be able to adapt the buildings for new uses.

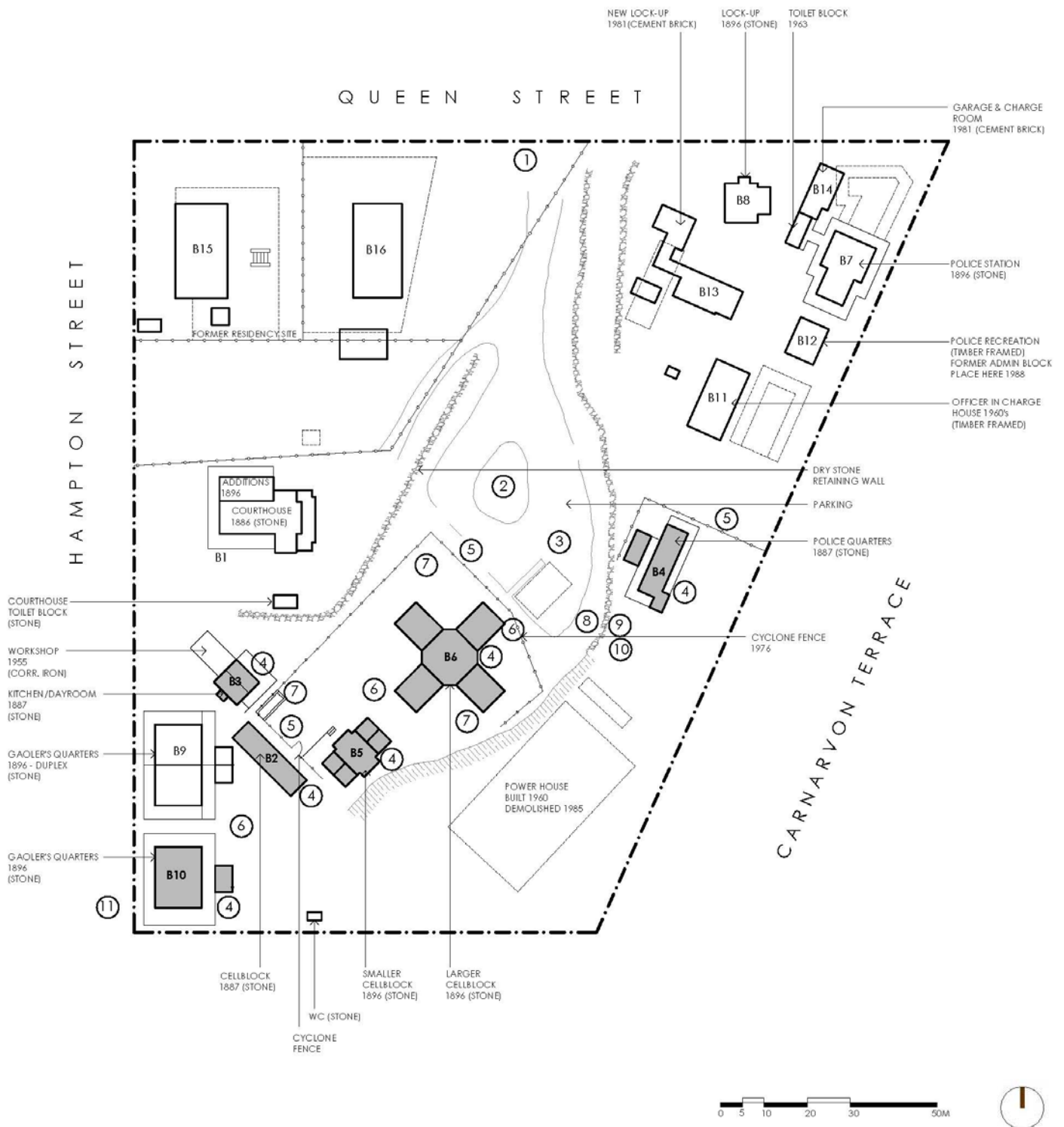


Figure 9: Site Plan. Buildings included in this study are shown in grey. Hocking Heritage Studio, 2017

4.1. B2: 1887 Cell Block



Figure 10: South east elevation of 1887 Cells

The original Cell Block was a simple structure comprising a range of four cells. The two western cells are set on higher ground with a floor level 290mm above the remaining two. Although the building is in a ruinous state, the original design intent of the place remains clearly discernible.

The Cell Block is of stone construction, with a limewash finish to the external elevations. The roof was gabled, clad with corrugated iron. The south west elevation presents as a blank elevation enlivened only by the regular placement of the high level windows. The north east elevation contained the doors and two tiered windows. The bars to the openings on the north elevation have been retained. Bolts embedded in external faces of the walls once secured ropes which held down the roof structure in cyclones. The remnants of this device remain extant.

Today, the two easternmost cells are in a ruinous condition. The cells no longer have a roof and the top section of the stone walls has eroded. The walls have eroded to below window sill height in the south east cell and to lintel level in the adjoining cell.



Figure 11: 1887 Cells

The cells at the western end are in a better condition being covered by roofing and all openings have been retained although the timber door and window frames have predominantly been lost. The roof above the western cell has been altered to incorporate a skillion roof which has been raised and extended across the walkway and adjoins a timber framed addition to the Kitchen/Day Room whilst the cell in between retains its original roof structure. The original roof structure is gable in form, which is open to the underside as the cells did not have ceilings. The corrugated iron cladding is patched and full of holes.

The cells all retain the rendered finish to the internal wall surfaces with the lower half of the walls being painted black. The floors of the cells are rough concrete. Two of the cells retain the large centrally placed manacle rings set into the concrete floors.

Original Function:	Cells
Current Function:	Unused
Condition:	Poor – ruinous at the eastern end, salvageable at the western end
Integrity:	The cell block would not be used as cell accommodation again but the place demonstrates high integrity in that it has become a ruin.
Authenticity:	The structure demonstrates a high degree of authenticity. A high degree of original fabric has been retained, albeit in various states of condition. The western end of the range has been adapted for alternative use but the original design intent of the cells still remains evident.

4.2. B3: 1887 Kitchen and Day Room Building



Figure 12: North east elevation of Kitchen and Day Room Building

The Kitchen/Day Room block is a stone walled building with a timber framed corrugated iron clad hipped roof. Timber framed additions have been constructed to the rear.

The Kitchen and Day Room consists of three rooms, a long rectangular room extending the full length of the building which was the Day Room, now opening out into the corrugated iron/fibro addition at the south eastern end. There is evidence of shelving niches along the south western wall.

The Kitchen consisted of two rooms including a smaller store area to the front portion and the larger kitchen area to the rear section. The two rooms are separated by an arched opening. The window to the front section is boarded up but the window with bars to the Kitchen remains extant. The rooms are empty apart from the Kitchen which still contains the stove and a bread oven in an arched alcove within a stone chimney breast.

The walls throughout are roughly rendered internally, the floor is of soft concrete. There is no ceiling to the kitchen being open to the underside of the roof which shows the underside of the corrugated iron to one section and the jarrah lining boards to another. The collapsed ceiling in the Day Room was ripple iron, with flaking white paint finish. The majority of all joinery to the window and door frames has been lost. Bars remain extant in some of the openings.

A corrugated iron clad lean-to structure is attached to the east side of the stone structure, with shutters to the windows, fibro lining to the internal walls and ceiling and concrete floor. This room provides direct access into the Day Room. This is possibly an enclosure of the verandah as indicated on the 1887 plan.

There is another partially enclosed corrugated iron structure to the north side of the Day Room, also a later addition.

A corrugated iron roof structure links the lean-to on the east side of the Kitchen/Day Room block to the western most cell of the 1887 Cell Block. The motor repair business referred to above operated from here sometime before 1941. This business operated from the Kitchen/Day Room and the end cell of the 1887 Cell Block.



Figure 13: Kitchen and Day Room Building

In 1955 a corrugated iron structure with a vaulted corrugated roof, supported on large timber trusses, was added to the Kitchen/Day Room to serve as a workshop. This has been removed with only an extensive concrete slab remaining.

An inspection pit was constructed to the east of the building which has since been filled in but appears to contain the remains of a train, or something similar.

An inspection ramp was also constructed from the top of the bank retained by the dry stone wall adjacent to the Court House toilet block, this also has been removed.

Original Function:	Kitchen/Day Room
Previous Functions:	Motor Repair Storage
Current Function:	Vacant and derelict

Condition:	Externally the walls are in fair and salvageable condition. The roof to the Day Room has partially collapsed and requires complete replacement. Graffiti on the kitchen walls. Loss of windows and doors, and associated joinery.
Integrity:	The place would not be used as a functioning kitchen again but due to its retention of fabric and kitchen installations, can be retained as an interpretative element. The Day Room could be restored and used as visitor facilities or other temporary use.
Authenticity:	The Kitchen and Day Room demonstrate a high degree of authenticity. Much original fabric has been retained, albeit in various states of condition. The additions can be removed.

4.3. B4: 1887 Police Quarters



Figure 14: fmr Police Quarters

The 1887 plan shows the larger Quarters section and a separate kitchen block containing two kitchens to the west of the main building. The two sections have now been joined by an enclosed breezeway. The kitchen floors are at a higher level than those of the Quarters due to the slope of the ground, accessed by three concrete steps.

The roof to the main section of the building is hipped with a separate hip above the kitchen which slopes down as a skillion over the enclosed breezeway. The verandah canopy that wraps around the north and east elevations is positioned below eaves level. The roof has partially been lost to the kitchen and breezeway but remains extant over the main house. The verandah deck is concrete. A small section of verandah has been constructed to the southern end of the range, with separate skillion canopy, timber posts and concrete deck.

The Quarters building and kitchens are both of stone and brick construction, originally limewashed but now coated in a PVA paint finish. The original mortar joints remain visible under the paint with a form of tuck pointing remaining evident. Quoining also remains visible under the paint finish.

The Quarters originally comprised a lineal range of four rooms. The dividing wall between the two southern rooms has been removed to make a larger room.



Figure 15: fmr Police Quarters

The northern most room has lined stud framed walls concealing the original stone walls, a battened ceiling and a timber floor. Ceiling mounted strip lights and fans have been installed with surface mounted conduits leading to GPO's. The original timber and glazed door on the east side of the room remains extant. The door on the west wall leading into the enclosed breezeway is not part of the original fabric as is indicated by the lack of rendered quoins which surround the original openings. The original external door in the north wall has been infilled and adapted to take an air conditioning unit. A non-original interconnecting door between this room and the adjoining Quarter's room has been installed.

The next room to the south has a painted concrete floor, a plaster finish on the walls and a suspended ceiling. The sashes of the window in the west wall opening onto the vestibule are side hung casements. The door in the east wall leading onto the verandah has been blocked in and accommodates an air conditioning unit.

The two rooms at the south end of the building as originally built have been knocked into one room with the removal of the dividing wall. The original window opening in the west wall has been converted to door access from the covered breezeway. The original timber and glass panelled door on the east wall has been replaced by a flush panel timber door. The south east door has been blocked up and a non-original opening in the south wall has been blocked up with an air conditioning unit being housed in this non-original opening. The room has plaster finish on the walls, the floor is concrete and ceiling is of a metal sheet 'Trimdeck' profile with surface mounted strip lights and fan.

A small room to the south east corner of the verandah is used as storage. The room has slotted windows with the splayed reveals. The room has concrete floor, rough rendered and painted stone walls and lined ceiling.

The kitchen and laundry present in a similar manner to each other with fireplaces and chimneys along the central wall and basic kitchen fittings. The ceilings are lined with fibro sheeting. The walls are rendered and painted. The floors are concrete. The windows are timber framed sashes windows and doors are flush panel. Ceiling mounted strip lighting and fans have been installed.

Original function: Police Quarters
Previous Functions: Women's Prison
Current Function: Vacant and semi-derelict

Condition: The condition of the building is generally sound though somewhat run down in regard to paint finishes, internally and externally.

The southernmost of the kitchen and laundry has a sizeable crack near the doorway in the western external wall and cracks above the window in the southern wall. The timber sashes to this window have been replaced with adjustable louvers and the frame has extensive termite damage. The northernmost kitchen window has also suffered termite damage and the sill has been raised to accommodate a kitchen bench.

The concrete verandahs are cracked and in places the surfaces are crumbling. The flywire to the enclosure of the south verandah requires removal or replacement.

The roof in places has been damaged in the 2015 cyclone.

Integrity: The building has integrity in that it is capable of long term viability and may readily be made useful without compromising its significance.

Authenticity: The building fabric possesses a degree of authenticity in that the adaptations that have occurred, though recent, were for the purpose of an historically important use i.e. the conversion from residential to prison function in the 1980s.

4.4. B5: Smaller 1896 Cell Block



Figure 16: North west elevation of smaller 1896 Cell Block

The small cell block is planned on similar lines as the large block, though with four smaller cells arranged in pairs. As with the main cell block and other buildings on site, the smaller cell block is of stone construction with concrete quoining around the openings and at the edges of the walls. The only entrance into the building is located on the north west elevation in a projecting porch, with gridded opening.

The original openings are the high level windows with white painted quoining. Two additional low level openings were added to the north eastern cells. All cells had windows to two walls, which had bars and timber storm shutters.

The roofs over the cells are gabled with concrete capped parapets painted white. The roof is clad in short sheet corrugated iron. The enclosed roof to the exercise yard cannot be seen from ground level.

The four cells are arranged in pairs and are separated by a rectangular exercise yard which was initially open but has since been enclosed during the occupancy of the Vacuum Oil Company which occurred from the closure of the Gaol until the lease was terminated in the 1950s. The exercise yard roof is corrugated iron clad skillion falling from west to east and supported on a framework of large sawn timbers marked "V O Co Port Sampson" (Vacuum Oil Company).



Figure 17: smaller 1896 Cell Block

The walls to the exercise yard are fair faced stone although the wall to the eastern end where the showers are located has been painted over. The concrete arches over the openings and the cement rendered architraves to the doors are painted white.

At the east end of the exercise yard is an alcove which originally housed latrines and a urinal. This was subsequently upgraded to include a shower, wash troughs and toilets prior to the reopening of the gaol in the 1970s. The toilets have been removed and the wash troughs replaced with metal sinks. This section of the cell block is screened by a timber stud partition.

At the west end is the wide entrance to the cell block secured by an iron grille and gate.

The walls of the cells are rendered and painted with manacle rings. The floors are roughly laid concrete. A shower and WC were added to Cells A and C. The raised concrete floor was laid over the original floor. Walls enclosing the WC area were constructed of brick. Roofs to the cells are ripple iron. Each cell has a metal grille gate that opens into the cell and a timber door that opens out into the exercise yard.

All the cell doors have been replaced.

All storm shutters have been replaced.

Original Function:	Cell blocks
Current Function:	Arts space

Condition:	Fair
Integrity:	The cell block demonstrates a high degree of integrity. Although the space will not be used to incarcerate prisoners the internal planning remains extant and easy to understand, providing an interpretation of its original function.
Authenticity:	The cell blocks demonstrates high authenticity with much of the original fabric remaining extant. Alterations have been made but for the most part, these have had limited impact on original fabric and presentation.

4.5. B6: the larger 1896 Cell Block



Figure 18: Larger 1896 Cell Block

The larger cell block is made up of four wings radiating from a central exercise yard. The wings are interconnected on the external face by diagonal stone walling creating the distinctive octagonal shape to the internal exercise yard.

Although highly distinctive in its form, the building presents in a very simple manner. The roofs to the four cell block wings are gables, with parapet end walls incorporating concrete capping. Each cell block contains three high level windows to each long wall and a single opening to the end walls. A further circular vent is positioned in the apex of the gable but this cannot be seen from within the cells. The connecting walls between the wings have long high level openings with the exception of the west wall which contains the large the grilled entrance.

The metal grilled roof that was latterly placed over the exercise yard follows the gable form of the wings, connecting in the centre and can be seen from some external views.

All openings have cement quoins, subsequently painted white but originally left in their natural state. The raked roofs to the interconnecting walls between the wings are painted concrete. The parapets and quoins to the edge of the walls are painted white. Although not original, the distinction between the warm stonework and the bright white elements has added to the landmark status of the complex.

Internally, each wing originally contained a dormitory for up to 14 prisoners. The wings were stark with wall mounted manacles remaining extant along the walls.

An entrance in the north east wall of Wing 1 has been inserted which now forms the main entrance into the Gaol complex and the larger cell block. A remnant “Roebourne Regional Prison” sign remains above the door, obscuring the original window opening.

The walls built on the diagonal contain niches facing onto the exercise yard. One niche accommodated latrines, another contained an entrance which was originally 1200mm wide and subsequently enlarged. The walls are of fair faced stonework with a 1200mm black dado to all walls apart from the hand basin wall which was painted white to window sill height. The concrete quoins and heads of the openings are painted white. The arch over the east window has been painted black which is now wearing away.

The resulting octagonal enclosure was not roofed and served as the exercise yard. This yard was roofed over with an open grid of steel girders and mesh in 1979-1980 in order to stem a spate of escapes on the part of the prisoners who were given permission to sleep in the yard to avoid the heat in the cells.



Figure 19: Larger 1896 Cell Block

Each wing is roofed with a gabled, timber framed, corrugated iron clad roof abutting the stone parapet walls at each end of each wing. The ceilings are of ripple iron, the internal walls of the wings are rendered and lime washed with the later applications of PVA paints. The longer walls of each wings have five evenly spaced manacle rings built in approximately 600mm above floor level. The windows are made secure with iron grilles and protected with timber storm shutters. The floors are of roughly laid concrete.

Following the closure of the Gaol in the 1920s, the Cell Block had various uses including being a town freezer and a Red Cross shop.

At some time since the prison closed a wide opening was cut into the centre of the western wall of the western wing. This opening has a timber lintel supporting the stonework above, as well as the original window. The opening is not dressed with quoins as are the original openings.

A doorway was inserted into the north east wall of the Wing 1. The reveals of this opening were crudely dressed with cement render and an attempt to disguise the ragged edges of this work was made by painting fake quoins over the cement and adjacent stone. The original window can still be seen above this opening with the sign proclaiming the 'Roebourne Regional Prison' fixed between the two openings.

The temporary reopening of the Regional Prison in 1976 was heralded by a spate of building works. The Roebourne Prison Restoration involved the addition of a WC and hand basins enclosed in approximately 2400mm high brick walls built in the corner of each cell. The floors of the WC enclosures were new concrete slabs laid on top of the original floors. Showers were installed in the north east niche of the exercise yard and hand basins in the south east wall. The showers were subsequently enclosed and roofed with a steel frame and fibrous sheet cladding.

The timber doors connecting the wings of the cell block to the exercise yard have been replaced due to damage or termites. The timber storm shutters have also been replaced.

The entrance grilles to the exercise yard is a replacement.

The western wing initially accommodated the kitchen pending the provision of the new kitchen in the transportable building that was installed to the west of the cell block. This required an air lock to be built across the door leading to the exercise yard in order to isolate the toilet. The air lock is still in existence. This wing was later used as the dining room.

A small number of rusted roof sheets were replaced as were gutters and downpipes. New sanitary works were connected to the new septic tank and leach drain system. The drainage necessitated trenches being cut in the floor of the exercise yard.

Segregation cells were constructed in Wing 1 (north east wing) comprising two cells and a toilet, with the wing also being used for administration or duty room. The walls of the segregation cells are of painted cement blockwork, the ceilings are of plain metal sheet strips, 450mm wide and spot welded. The doors were heavy iron grilles opening into the cells and a timber door with observation hatch opening outwards. The floors are concrete laid above the remaining floor level to accommodate waste and soil pipes for the WCs and hand basins provided in each cell, the sanitary fittings have since been removed. The raised platform was the sleeping area. This wing was subsequently used by the Roebourne District Tourist Association as their main reception and shop, installing air conditioning and other fittings. The windows have perspex screening over the openings.

The stone walls are roughly rendered with gloss paint applied over the original limewash finish. The main ceiling is clad with ripple iron with flat iron bars bolted over the overlapping joints.

Picture rails, fluorescent lighting and pva paint finishes have been added to most wings. Wing 3 contains a fireplace. The floors are concrete, with additional screed, and the lower sections of the walls had previously been painted black, either paint or tar based coating, which was subsequently painted over.

Original Function: Cell blocks
Current Function: Vacant

Condition: Fair

Integrity: The cell block demonstrates a high degree of integrity. Although the space will not be used to incarcerate prisoners the internal planning remains extant and easy to understand, providing an interpretation of its original function.

Authenticity:

The cell blocks demonstrates high authenticity with much of the original fabric remaining extant. Alterations have been made but for the most part, these have had limited impact on original fabric and presentation.

4.6. B10: 1896 Gaoler's Quarters



Figure 20: West elevation of Gaoler's Quarters

The Gaoler's Quarters is a simple stone building with hipped roof that continues down to form the deep verandah canopy. The front elevation of the premises turns it back on the main precinct and faces out across Hampton Street. The place is located at the south east corner of the precinct in with a more distant relationship with the remaining buildings on the site, with the exception of the Warder's Quarters immediately adjacent.

The roof is hipped, clad with short sheet corrugated iron and held down with storm battens. The south plane of the roof has been replaced with zincalume and does not incorporate the external storm battens.

The building is of fair faced stone construction with quoining to the openings and abutments of the elevations. Unlike the other buildings around the site of similar constructions, the Gaoler's Quarters also has an additional 450mm concrete lintel extending around the structure. No explanation of this feature has been found in any documentary evidence or on site during the physical assessment.

The stonework has rolled joints that are indented with a black mortar. The joints on the rear elevation have been painted white.

The front elevation has a symmetrical presentation with three sets of double doors equally positioned along the façade. The central doorway leads into the communal area of the building whilst the flanking sets of doors provide direct access into the bedrooms. This pattern of doorways is replicated on the rear, east, elevation. The north and south elevations are also symmetrical and identical to the original section of the building. These two elevations present with two sets of shuttered openings to each elevation which are

windows to the aforementioned bedrooms. A non-original timber framed and corrugated metal toilet/laundry addition has been constructed under the north east corner of the verandah.

All openings around the building have white painted cement quoins, sills/thresholds and lintels which combined with the painted cement quoins to the corners of the structure, contribute to the collective aesthetic of the site.

The building is surrounded by a deep verandah to all sides. The canopy is the continuation of the main roof, at the same pitch, supported on cast iron columns. The deck is concrete with a stone retaining wall towards the south where the gradient of the landform drops away.

A detached stone kitchen building has been constructed at the rear of the property, directly opposite the central set of doors. The kitchen building is approximately square in shape with a hipped roof. The verandah canopy from the main building extends to the west elevation of the kitchen block providing continuation cover between the two buildings. The kitchen is constructed in the same manner as the main building, with fair faced stone and painted cement quoins. The east wall has been completely painted together with the chimney that extends up the full height of this elevation. Windows with shutters are positioned on both the north and south elevations and the entry door is on the west elevation.





Figure 21: Gaoler's Quarters

Internally, the place has a very simple plan form. A wide central hallway extends along the full depth of the property with two bedrooms either side. The hallway functioned as the communal space of the quarters in its original occupation.

The four rooms are identical, each with a single door from the internal hallway, double timber and glazed panelled doors with shutters to the verandah and a single opening with timber framed casements and shutters.

The finishes throughout the building are the same. The floors are concrete with a vinyl covering and no skirting. The ceilings are fibro panelling with battens and a 1/4 round timber cornice. The walls are plastered and painted. Suspended lights and fans have been installed to each room. The concrete lintel that extends around the perimeter of the building is visible in the rooms, painted to match the rest of the wall.

The kitchen is roughly rendered and painted with contemporary tiles around the kitchen installations. Kitchen cupboards and sink have been installed along the south wall. The fire place and chimney remain extant but without stove or fire grate. The timber mantel remains extant. The floor is concrete and covered with vinyl. Ceiling is fibro cladding and timber battens.

An original separate WC building was constructed to the east of the building. The single roomed structure is of stone construction with gabled roof clad with corrugated iron.

The toilet block is of timber framed construction with Colorbond cladding, located to the north east corner of the quarters, accessed via the verandah and contains the all bathroom fittings and laundry facilities.

Original Function:	Gaol warder's accommodation
Current Function:	Vacant

Condition:	Fair to good
------------	--------------

Integrity:	The place presents with high level of integrity. The place can be restored and put back into residential or similar use, retaining the original planning and fabric.
------------	--

Authenticity:	The place presents with high level of authenticity, retaining much of the original fabric and with little alterations or additions.
---------------	---

4.7. Site Description



Figure 22: View Roebourne Police Station, Court House and Gaol Precinct, taken from Carnarvon Terrace, close to the junction with Cherratta Road

The six buildings forming the subject of this report create a coherent image, interrupted only by the fact that the Warder's Quarters are not part of this assessment.

The buildings are generously spaced across a site that falls away to the south, giving prominence to the buildings from a variety of vantage points. The subject group of six buildings are surrounded by open land to the south east, south and south west.

The buildings are approached via Queen Street, turning into the site past the present police station. The approach road splits into two providing a direct link to the court house with the second entry into the lower level car park. Visitor access into the gaol buildings is via the gateway in the cyclone fencing directly in front of the north east wing (Wing 1) of the larger Cell Block. This gate is predominantly kept locked preventing unauthorised access to the site. The cyclone fencing with razor wire is a remnant of the second phase of occupation as a gaol in the 1970s/1980s.

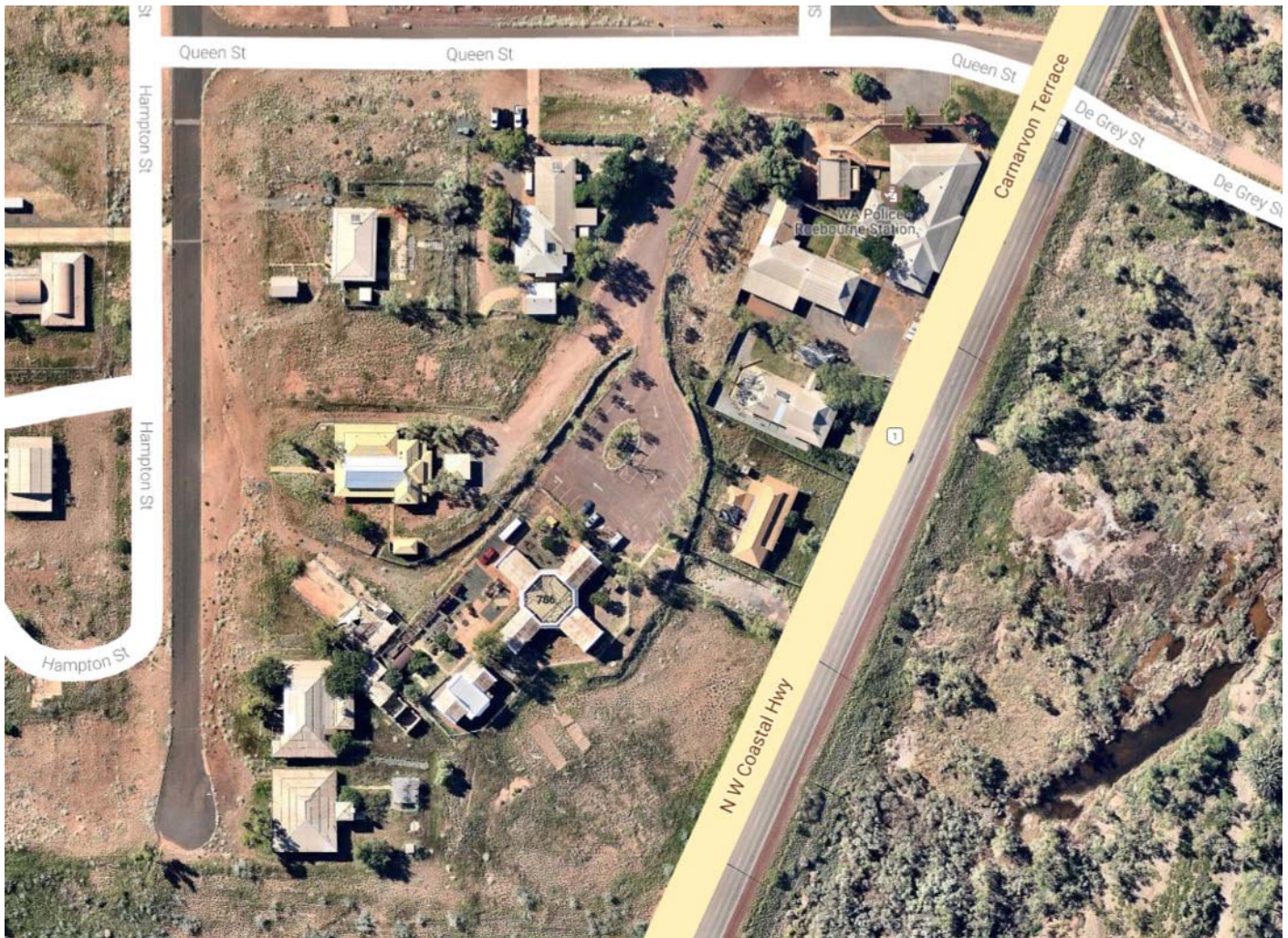


Figure 23: Site plan of Roebourne Police Station, Court House and Gaol Precinct

Once inside the complex, the visual connection between the buildings is a key component of the site. The court house looks down upon the cell blocks which has historically been an important visual relationship and thought to represent the hierarchy of the functions on the site.

The three Cell Blocks (B2, B5 and B6) also have a visual relationship though some of the later planting to the west of the cell blocks interferes with this view. The earlier 1887 Cell Block (B2) is at a lower land level than the two 1896 blocks.

Since the closure of the gaol, the site has been planted which softens the harsh prison aesthetic and in some instances is inappropriate for the site. Trees planted close to the Gaoler's Quarters and the Police Station have been described in the heritage listing as being of significance but all other planting has not been included.

The site has also become cluttered with pieces of machinery, the majority of which are unrelated to the gaol use.

The legibility of the site for the visitor is confusing as the cyclone fencing around the two main cell blocks prevents free flowing access around the site. Additional fencing surrounds the fmr Police Quarters Building (B10). Future use will influence the access to the site to some extent but as the principal objective is to develop the site further as a tourist opportunity, ease of access around the site is essential.

5.0 Significance of the Place

In considering options for the conservation and potential adaptive re-use of Roebourne Gaol Buildings, it is essential to understand the history and significance of the place in order that any of the proposed changes do not compromise the identified significant values.

The assessment of significance set out below is taken from the assessment documentation prepared by Heritage Council of Western Australia in connection with entry of the Roebourne Gaol Complex being entered onto the State Register of Heritage Places in October 1995. As this report only deals with six buildings, the statements will be amended to reflect only the subject properties and site setting.

5.1. Assessment of Significance

5.1.1. Aesthetic Value

The dominant feature is the abundance of local stone used in the walls of the nineteenth century buildings and in the retaining walls which define the three main terraced levels of the landform. The stone, in combination with the mortar joints creates a unity of scale and texture to the buildings. The majority of these buildings are fair faced stone walls surfaces and display rich and varied colours of the natural stone, ranging through reds and oranges to blues. These surfaces have an affinity with those of the dry stone retaining walls built of the same stone, though undressed and without mortar. (Criteria 1.2, 1.4)

Another unifying characteristic is the quoins in the late nineteenth century buildings and the somewhat similar effect of the cement rendered door and window trims of the 1887 Court House. The light grey colour tinged red-brown with the Pilbara dust originally presented a subtle contrast, with the stronger colours of the stonework within the Police Lock-up. The later painting in white of most of the quoins of the two 1896 Cell Blocks, the Police Station and the window and door surrounds of the Court House has produced a stark contrast with the stonework; nevertheless there is a strong community perception of the distinctive quality of the buildings despite the modification in the colour of the trim. A further factor contributing to the unity and harmonious appearance of the Precinct is the universal use of unpainted or white painted corrugated sheet roofs. The exception, in regard to colour, being the rather obtrusive creamy yellow Colorbond roof of the Court House and adjacent toilet roof. This is particularly noticeable when viewed from the Mt Welcome lookout. (Criteria 1.2, 1.4)

Each nineteenth century building has its own aesthetic appeal. (Criterion 1.2)

- The Court House has the slender cast iron-colonnaded verandahs, the lightness of which offsets the solidity of the stone core of the building; the rendered strips adorning the western gable and the gracious interior of the court room are reminiscent of a church nave.
- The ruin of the 1887 Cell Block, the Kitchen/Day Room and the 1887 Quarters contribute to the aesthetic because of the old stone white washed walls.
- The 1896 cell blocks and the Police Lock-up have their sculptural qualities with the projecting entrances of the two smaller blocks and the wings of the larger block expressed as separate arms radiating from an octagonal yard. The construction of the roofed shower cubicle enclosure in the octagonal exercise yard, the covering of the yard with a steel girder framed grille and to a lesser extent the provision of lavatories throughout the two buildings, while necessary for the functioning of the Gaol between 1976 and 1984, tend to detract from the aesthetic appeal of the interior aspects of the two buildings.
- The Police Station has light cast iron colonnaded verandahs surrounding the solid stone core reflecting the design intention of the earlier Court House.

- The 1965 reconstruction of the former kitchen wing as a toilet wing and the 1981 addition of the rather dominant Garage and Charge Room Block, both in cement blockwork, tend to reduce the aesthetic appeal of the complex.
- The Warder's Quarters and the Gaoler's Quarters have cast iron colonnaded verandahs surrounding central stone cores, though the aesthetic quality of the buildings is somewhat diminished by the unsightly asbestos clad infilling of parts of the verandahs. [Removed from the Gaoler's Quarters but still present on the Warder's Quarters, 2017]. The derelict appearance of the Gaoler's Quarters also detracts from its aesthetic appeal. [the Gaoler's Quarters are no in a derelict state, 2017].
- The *Delonix regia* (*Poinciana*) and *Albizzia lebbek* (Acacia, silk tree) trees around the Police buildings and the *Albizzia lebbek* trees around the Warder's and Gaoler's quarters provide shade and a seasonal floral display. They are relatively mature specimens and contribute to the landscape character of the Precinct in an aesthetic and environmental way.
- The link wire mesh security fences may be regarded by some as an obtrusive element, however the fences surrounding the two Cell Blocks have some historic validity in that they were necessary to the re-opening of the Gaol in 1976. The link wire mesh security fences in the vicinity of the Police Lock-ups perform a current function and are preferable to more solid barriers which might be their alternative.

The Precinct has landmark qualities when viewed from the southern approach to town. This quality will be enhanced with the planned re-routing of the North West Coastal Highway which will channel road traffic past this approach. (Criterion 1.3)

The nineteenth century buildings of the Precinct have an affinity to those of the town, having roofing materials, stone walling, concrete quoins and cast iron columns as common elements. The scale and density of the building stock within the Precinct is also similar to that of the town. (Criterion 1.4)

5.1.2. Historic Value

The modifications to the landform of the Precinct, including the buildings constructed within it, are associated with European settlement of the North West. (Criterion 2.1)

The Precinct reveals evidence of changing cultural influences affecting design and construction of the buildings, and the treatment of the landscape. (Criterion 2.1)

The Precinct is significant for being the regional prison for the whole of the North West region. (Criterion 2.2)
[A new regional prison on the outskirts of Roebourne has been constructed]

The *Delonix regia* and the *Albizzia lebbek* trees around the Police buildings and the *Albizzia lebbek* trees around the Warder's and Gaoler's Quarters are associated with the period following the 1924 closure of the Gaol and are an expression of the improved environmental amenity of these more permanently occupied parts of the Precinct. They also represent an influence of introduced flora associated with tropical climates. These species have, subsequently, been planted throughout the North West region, particularly in mining towns. (Criterion 2.1)

The evolution of the buildings from small timber framed structures to more impressive stone buildings demonstrates the growing affluence of the Treasury following the discovery of gold. (Criterion 2.1)

The Precinct also bears witness to changing policies in the administration of the law. This aspect is demonstrated in a number of ways. The Gaol buildings as first constructed demonstrate the harsh treatment of prisoners compared with the improved facilities installed in the Gaol for its re-opening in 1976. A study of the pre -1886 buildings compared to those constructed in 1896-1897 demonstrates the evolution of the

division of the responsibilities for the custody of prisoners between the Police Department and the Department of Corrections. (Criterion 2.2)

The death of John Patt in the Juvenile Lockup, in 1983, was instrumental in establishing the Royal Commission into Aboriginal Deaths in Custody. (Criterion 2.2)

The vaulted roofed workshop constructed alongside the 1887 Kitchen/Day Room Block, in 1955, demonstrates the activities within the Precinct between the time of the closure of the Gaol, in 1924, and its re-opening, in 1976. This was the time of the motor repair business conducted from the workshop and 1887 Cell Block, with the proprietors living in the Warder's Quarters; the use of the 1896 Cell Blocks by the Shell and Vacuum oil companies; the use of the Cell Blocks as the town freezer and depot for the Country Water branch of the Public Works Department; and, the construction of the Power House on the south eastern portion of the Precinct. (Criterion 2.2)

The Precinct is associated with a number of prominent people including: early Government Residents: Robert Sholl and Lt. Col. E. Angelo; the first Chairman of the North Districts Road Board: Frederick Pearse; Architects: R. R. Jewell and G. T. Poole; Builders: S. M. Stansmore and the Bunning Brothers; and, pioneers: John and Emma Withnell and W. S. Hall. (Criterion 2.3)

5.1.3. Scientific Value

The precinct has the potential to contribute to a wider knowledge of the cultural history of Western Australia through the activities of the Roebourne District Tourist Association (Inc) and the Museum Group who curate displays in the 1896 Cell Blocks. (Criterion 3.1)

There is potential for increasing the knowledge of the history of the Precinct with archaeological surveys over the area of the former Residency garden. (Criterion 3.2)

The nineteenth century buildings show adaptations to the harsh climate in the use of wide verandas, and cross ventilation in some of the plans, as proof against the heat, and the use of shutters on the windows and storm battens on the roof as proof against cyclones. (Criterion 3.3)

5.1.4. Social Value

The Precinct has a close association with the Roebourne Districts Tourist Association (Inc) and the Roebourne Museum Group. These groups hold the nineteenth century buildings in high esteem for cultural and educational reasons and utilise the 1896 Cell Blocks to house displays of local history and for the dissemination travel information. (Criterion 4.1)

5.1.5. Rarity

The Precinct is a rare example of a complex embracing the functions of Police Station, Court House and Gaol contained upon the one site. Similar examples exist in the York and Busselton complexes, though in these cases the buildings are more compact and are constructed of light coloured stone, giving a different visual impact to that of the Roebourne Precinct. Also, unlike the Roebourne complex, none of the buildings in these examples are used for their original purpose. In other centres the Court Houses and Gaols are on separate sites. (Criterion 5.1)

Built in 1886-87, the Court House is the oldest functioning court house in Western Australia. (Criterion 5.1)

The 1896 Cell blocks show technical excellence and were of a design apart from the normal trend at the time of their construction. (Criterion 5.1)

The concept of the three different functions of the law being located on different terraced levels of the site separated by dry stone wall revetments, while not necessarily planned in this way, is unique in the Western Australian context. (Criterion 5.1)

5.1.6. Representativeness

5.1.7. Condition

Overall the condition of the place is fair to good. There are obvious signs of damage following the cyclone in 2015 that have not been remediated to the Kitchen/Day Room and the former Police Quarters.

See section 4.0 above for full assessment of condition of the six subject buildings.

5.1.8. Integrity

Overall the integrity of the Precinct is high. Section 4.0 above describes the integrity of each of the six subject buildings.

5.1.9. Authenticity

Overall the authenticity of the Precinct is high. Section 4.0 above describes the authenticity of each of the six subject buildings.

6.0 Constraints Affecting Future Use

The main constraints which may impact on future use is tenure, statutory authorities and lack of development potential.

Land Tenure/Ownership

The six places are currently owned by Department of Lands but adjoining building such as the Court House is owned by Department of Justice and the Warder's Quarters are leased. Split ownership and occupation may impede a coherent and attractive adaptation use of the site.

Statutory Authorities – Heritage Listings

The six Roebourne Gaol buildings that form the subject of this report are part of a larger complex known as '*Roebourne Police Station, Gaol and Court House Precinct*' entered on the State Register of Heritage Places. All works will have to be referred to State Heritage Council for approval.

The Precinct is also included on the City of Karratha's Local Government Heritage Inventory.

City of Karratha – Zoning

The site is currently zoned as 'Town Centre' under the Shire of Roebourne's Local Planning Scheme No. 8.

Section 5.13 (i) Roebourne Objectives states "preserve the Heritage Values of Roebourne town, whilst facilitating an increases range of services".

Planning approval for change of use may be required.

Building Regulations

Buildings in Western Australia that are in the process of being constructed, altered or improved must comply to current regulations. Any new work to the buildings will need to consider the requirements of the Building Code of Australia – concession for heritage buildings may apply.

Management

The purpose of this report is to determine whether the City of Karratha should take over the management of these six buildings. The overriding management issue is to conserve the buildings and ensure works are carried out in accordance with heritage policy, conservation plan process and State Heritage Office approval. As only six buildings are being considered under this report, the split management of the site will remain which may result in the places being managed differently. All are subject to the provisions of the Heritage of Western Australia Act 1990 which will create some unified management but as they are under the curatorship of different state departments, attitudes towards the building may differ.

It would therefore be recommended that the City of Karratha investigate transfer of ownership/management of the Court House and the Warder's Quarters (duplex building) so the site can be treated as a whole.

Development Potential

The opportunities for further development on the site are limited. The visual relationships between the buildings and the existing hierarchy between the original functions of the buildings across the site illustrated in the elevated position of the court house looking down over the gaol, are a key component of the significance of the site. Therefore, new development should not occur within the core of the site as this would be detrimental to those relationships.

Development should not occur to the south, south east or south west of the complex as this would interrupt key views to the buildings from the roads. As a landmark, development should not occur in areas that would interfere with or compromise key views to the site.

Compatible Uses

The key to conservation is to maintain the cultural heritage significance of the place. The use forms part of this significance and the ideal is to retain the original function as part of the conservation process.

Where the original function is no longer viable, alternative uses should be found that are compatible with the building forms and site context and do not require much adaptation of the original fabric and planning.

In this instance, the Roebourne Gaol Buildings will not function as a gaol site again and new uses do need to be found.

Any new use should not harm the cultural significance of the place. New uses must be respectful of the fabric and significance and contribute to the communication of the stories relating to the former use of the site whilst providing additional functions.

Consultation

The large Cell Block and the former Police Quarters have been occupied by the Roebourne District Tourist Association and the Roebourne Art Group under leases granted by the Department of Lands. The leases have expired but the societies have permission to remain as tenants. The terms of their current occupation are not known. The Roebourne District Tourist Association has vacated but still retain an interest in providing visitor access to the site. The Roebourne Art Group have recently moved into the smaller Cell Block.

Any future use planning should include reference to these groups. The Roebourne Art Group is considered to be an acceptable compatible use and should be encouraged to stay.

The buildings forming the Roebourne Police Station, Court House and Gaol Precinct are also valued by the local community and appear to be generally supportive of their retention and enhancement. The local community should be consulted on the adaptive re-use of the buildings.

7.0 Conservation and Adaptive Re-use

In view of the considerations presented in the above sections, there are a number of conservation and adaptive re-use options that may be viable for the six Roebourne Gaol buildings.

The City of Karratha requires a number of risk management approaches to be considered to assist their decision making process including:

- Demolition
- Boarding with or without partial demolition and left as stabilised ruins
- Maintenance to a standard of safe access without new use apart from interpretation
- Restore to a standard suitable to allow for occasional use but not full time occupation
- Complete restoration with suitable new use

The following options take the above approaches into consideration.

It is the City's intention that permanent tenants be found for some or all of the buildings and for them to become self-sufficient in terms of operation and funding. The following options propose uses based on research undertaken in Roebourne and from our experience of working within a heritage environment.

7.1. B2: 1887 Cell Block

Option	Proposal	Recommendation	Timeframe for works to be carried out
Option 1	Demolition in full	Not recommended	--
Option 2	Board up and left as stabilised ruins with interpretation	Not recommended	--
Option 3	Maintenance to allow for safe access without new use apart from interpretation.	Recommended	Within the next 12 months
	Immediate action required to secure existing roof		As soon as possible, within the next 6 months, before cyclone season.
Option 4	Restore to allow for occasional use but not full time occupation	Recommended	3 years and beyond, depending on need and development of the site
Option 5	Complete restoration with new use	Recommended but not essential	--

Refer to the following drawings for 'Conservation Works'

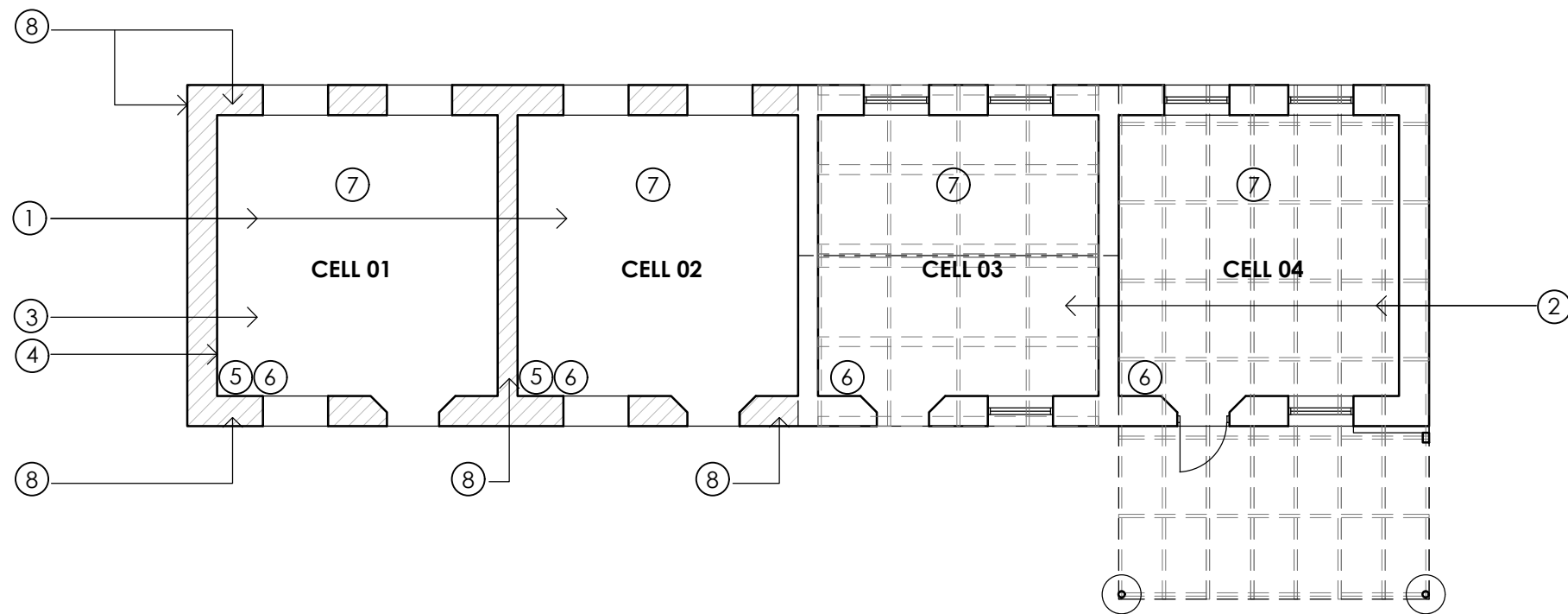
- SK1.1.1
- SK1.1.2
- SK1.1.3
- SK1.1.4

Refer to the following drawings for 'Conservation Works' and 'Interpretation' (Option 3)

- SK1.2.1
- SK1.2.2
- SK1.2.3

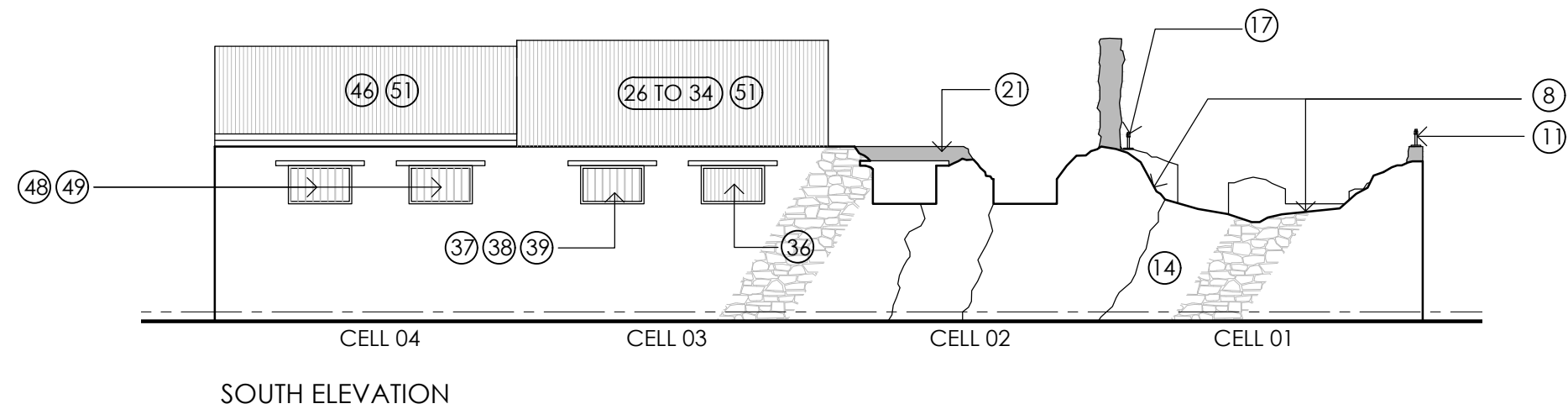
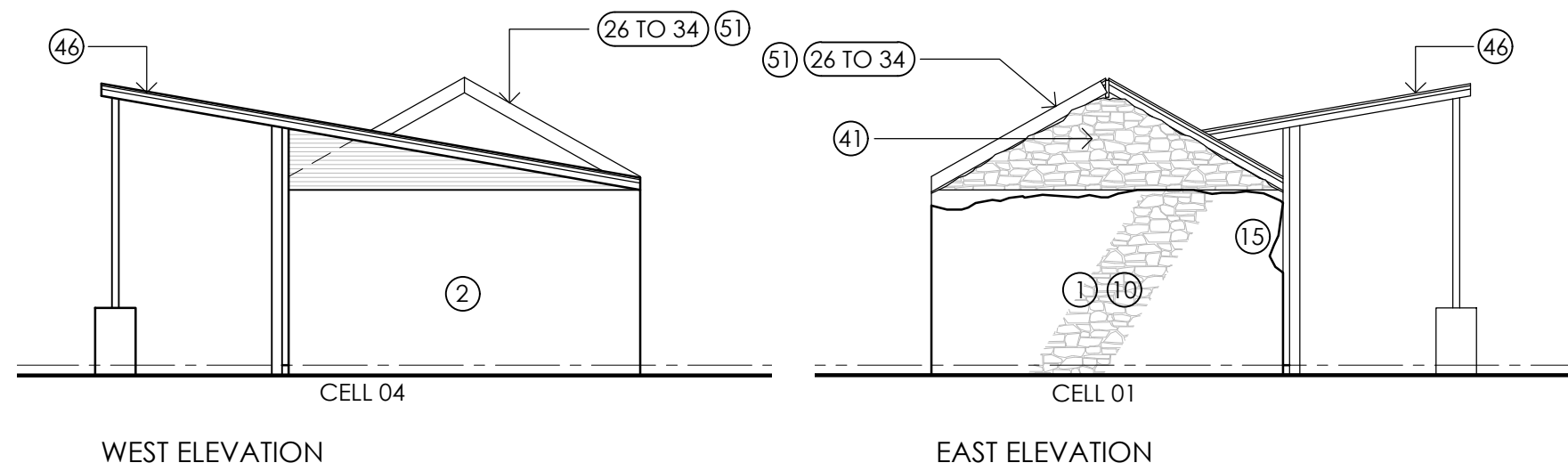
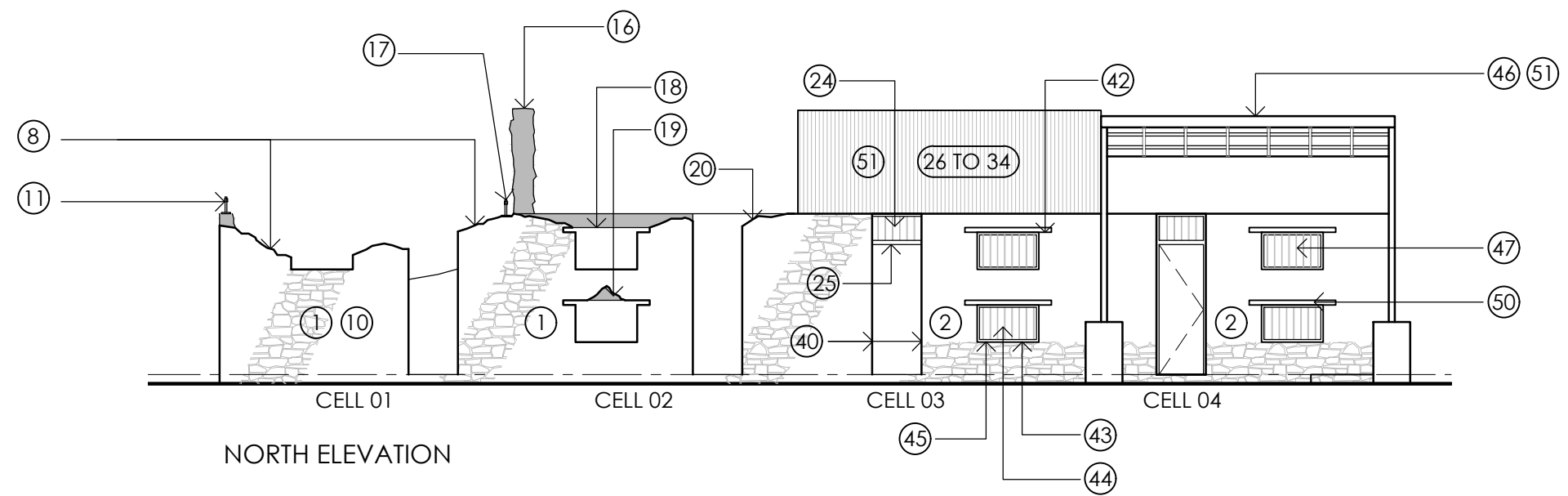
Refer to the following drawings for 'Conservation Works' to allow for 'Occasional Use' (Option 4)

- SK1.3.1
- SK1.3.2



CONSERVATION WORKS - PLAN

B2 1887 CELL BLOCK
 SCALE 1:100 @ A3



CONSERVATION WORKS - ELEVATIONS

B2 1887 CELL BLOCK

SCALE 1:100 @ A3

B2 1887 CELL BLOCK
CONSERVATION WORKS

LEGEND

STRUCTURAL NOTES

- ROEBOURNE IS LOCATED IN ONE OF THE MOST SEVERE CYCLONIC WIND REGIONS IN AUSTRALIA - REGION D, TERRAIN CATEGORY 2.
- ROOF CONSTRUCTION AND RE-CONSTRUCTION MUST PAY STRONG ATTENTION TO MEMBER FIXINGS AND TIE DOWN DESIGN. THESE MUST BE IN ACCORDANCE WITH AS1684.3-2010 'RESIDENTIAL TIMBER FRAMED CONSTRUCTION, PART 3: CYCLONIC AREAS'.
- IN A RE-CONSTRUCTION SCENARIO, IT IS LIKELY THAT A NUMBER OF EXISTING ROOF MEMBERS CANNOT BE RE-EMPLOYED IN THEIR PREVIOUS ROLE. EXISTING TIMBER CAN HOWEVER BE EMPLOYED WHERE SIZE AND CONDITION ALLOWS AND FOR CREATING BUILT UP SECTIONS OF LARGER SIZE.
- ROOF TO WALL TIE DOWN PROVISIONAL WILL TYPICALLY REQUIRE EXPOSED EXTERNAL PERIMETER STEEL TIE DOWN RODS LINKING TOP WALL PLATES TO WALL MASONRY AT LOW LEVEL. IN SOME CASES, EXISTING BUILT IN STEEL ROD TIE DOWN MAY BE RE- USED SUBJECT TO NATURE, CONDITION AND DEPTH. FOR THE PURPOSE OF THIS FEASIBILITY EXERCISE HOWEVER, IT IS ASSUMED THAT NONE OF THESE ARE APPROPRIATE FOR RE-USE.

GENERAL

1. STABILISE AND RETAINING EXISTING RUINS OF CELL 01 AND CELL 02;
2. STABILISE AND RETAIN CELL 03 AND CELL 04 INCLUDING WALLS, ROOF STRUCTURES AND ROOFING;
3. COLLECT SAMPLES (FOUR SAMPLES FROM VARIOUS LOCATIONS) OF MORTAR MIX FROM EXISTING STONEWALLS. TEST FOR COMPOSITION AND RATIO OF EACH COMPONENT MAKING UP THE MORTAR MIX. PROVIDE SAMPLES OF REPAIR MORTAR MIX BASED ON THE TEST RESULTS;
4. COLLECT SAMPLES (FOUR SAMPLES, ONCE FROM EACH CELL) OF INTERNAL RENDER MIX FROM EXISTING WALLS. TEST FOR COMPOSITION AND RATIO OF EACH COMPONENT MAKING UP THE RENDER MIX. PROVIDE SAMPLES OF REPAIR RENDER MIX BASED ON THE TEST RESULTS;
5. REMOVE REMNANT ROCKS / RUBBLE / STONES FROM INTERIOR OF CELL 01 AND CELL 02. STORE IN A NOMINATED LOCATION FOR REUSE IN PROJECT;
6. REMOVE DEBRIS AND VEGETATION FROM INTERIOR OF EACH CELL;
7. RETAIN EXISTING CONCRETE FLOOR AND SHACKLE IN EACH CELL;
8. CAREFULLY REMOVE LOOSE ROCKS / RUBBLE / STONES FROM TOPS OF ALL WALLS, WINDOW AND DOOR REVEALS IN CELL 01 AND CELL 02, TO SOUND STRUCTURE. CAP TOP OF ALL WALLS OF CELL 01 AND CELL 02 WITH MORTAR MIX (REPAIR MIX TO MATCH EXISTING MORTAR MIX IN COLOUR, COMPOSITION AND RATIO OF THE MIX)
9. REPOINT MISSING / ERODED MORTAR JOINTS WITH MORTAR REPAIR MIX

CELL 01

10. REMOVE REMNANT PAINT AND TAR FROM EXTERNAL WALLS (NORTH AND EAST WALLS);
11. REMOVE EXPOSED, RUSTED ANCHOR RODS FROM TOP OF WALL OF CELL 01. REPOINT AND FILL IN ANCHOR HOLES WITH MORTAR (MORTAR MIX TO MATCH EXISTING IN COLOUR AND COMPOSITION);
12. CAREFULLY REMOVE LOOSE AND DRUMMY INTERNAL RENDER. CHECK EXISTING STONEWALLS FOR CRACKS AND MISSING JOINTS. REPOINT CRACKS AND MISSING JOINTS WITH REPAIR MORTAR MIX. REINSTATE AREAS OF REMOVED RENDER WITH REPAIR RENDER MIX;
13. NOTE - EXTENT OF REMOVED RENDER TO BE DISCUSSED WITH HERITAGE ARCHITECT ON SITE. THE EXISTING BLACK PAINT (POSSIBLY TAR BASED) TO BE RETAINED AS MUCH AS POSSIBLE FOR INTERPRETATION PURPOSES;
14. REPAIR EXISTING CRACK ON SOUTH WALL (ADJACENT TO DIVIDING WALL BETWEEN CELL 01 AND CELL 02) WITH REPAIR MORTAR; REPAIR PRINCIPAL CRACKS IN RUINS USING RUBERSTEIN SPIRAL ANCHOR, HELIFIX STITCHING OR SIMILAR. HELIBARS TO BOTH FACES. DEEP POINTING TO ALL OTHER CRACKS.
15. CAREFULLY REPAIR AND RECONSTRUCT NORTHEAST CORNER OF THE RUINS WITH REPAIR MORTAR MIX AND SALVAGED RUBBLE / STONE FROM SITE. CORNERS TO BE REINFORCED USING SUITABLE STONE QUOINS TO MATCH ORIGINAL CONSTRUCTION. USE EXISTING STONework ON SOUTHEAST CORNER AS REFERENCE FOR RECONSTRUCTION. DEEP POINTING AND CONSOLIDATION WORK TO STANDING RUINS OF CELL 01 THROUGHOUT. SPECIAL ATTENTION TO CAPPING MORTAR OF WALL TOPS TO ACHIEVE GOOD MICRO DRAINAGE.
16. SPECIAL ATTENTION TO POINTING AND CONSOLIDATION OF SLENDER HIGH GABLE ELEMENT OF INTERNAL WALL. ALLOW PROVISIONALLY, SUBJECT TO SITE ENGINEERS SITE ASSESSMENT, TO STRENGTHEN WITH INSTALLATION OF 4 NO FULL HEIGHT VERTICAL HELIBARS IN EACH FACE, EVENLY SOACED. INSTALLATION SIMILAR TO HELIFIX PROCEDURE FOR HORIZONTAL HELIBEAMS. ALTERNATIVE ACTION INSTEAD OF HELIBAR: EXPOSED STEEL RHS RIDGE BEAM RESTRAINT BACK TO CELL 03 ROOF.

CELL 02

17. REMOVE EXPOSED, RUSTED ANCHOR RODS FROM TOP OF WALL OF CELL 02. REPOINT AND FILL IN ANCHOR HOLES WITH MORTAR (MORTAR MIX TO MATCH EXISTING IN COLOUR AND COMPOSITION);
18. CAREFULLY REMOVE REMNANT STONE, MORTAR AND TIMBER LINTEL FROM WINDOW OPENING ON THE FRONT WALL (TOP WINDOW);
19. CAREFULLY INSERT NEW LINTEL (FROM SALVAGED/RECLAIMED TIMBER OF SIMILAR SPECIES) TO WINDOW OPENING ON THE FRONT WALL (BOTTOM WINDOW). REPOINT AND FILL IN GAPS IN STONework ABOVE LINTEL WITH REPAIR MORTAR MIX AND SALVAGED RUBBLE / STONE FROM SITE;
20. FILL IN GAPS IN STONework WITHIN DOOR REVEAL WITH REPAIR MORTAR MIX AND SALVAGED RUBBLE / STONE FROM SITE;

CELL 02 (CONTINUED)

21. CAREFULLY REMOVE REMAINING STONework ABOVE MISSING LINTEL TO WINDOW ON SOUTH WALL. FILL IN GAPS IN WALL AND REVEALS WITH REPAIR MORTAR MIX AND SALVAGED RUBBLE / STONE FROM SITE;
22. CAREFULLY REMOVE LOOSE AND DRUMMY INTERNAL RENDER. CHECK EXISTING STONEWALLS FOR CRACKS AND MISSING JOINTS. REPOINT CRACKS AND MISSING JOINTS WITH REPAIR MORTAR MIX. REINSTATE AREAS OF REMOVED RENDER WITH REPAIR RENDER MIX;
23. DEEP POINTING AND CONSOLIDATION WORK TO STANDING RUINS OF CELL 02 THROUGHOUT. SPECIAL ATTENTION TO CAPPING MORTAR OF WALL TOPS TO ACHIEVE GOOD MICRO DRAINAGE.

CELL 03

24. REMOVE REMNANT RUSTED STEEL GRILLES AND TIMBER PANEL ABOVE DOOR. CAREFULLY REINSTATE EXISTING TIMBER LINTEL ABOVE DOOR OPENING;
25. SPLICE EXISTING TIMBER WALL PLATE ABOVE DOOR OPENING. REMOVE AND REPLACE SPLIT WALL PLATE WITH SALVAGED / RECLAIMED TIMBER OF SIMILAR SPECIES AND DIMENSION;
26. REMOVE EXISTING ROOFING. REMOVE METAL FLASHING ALONG THE END OF GABLE ROOF. REMOVE TEMPORARY HOLDING DOWN STEEL TUBES AND ANCHORS ON ROOF AND WALLS. RE-ROOF WITH GALVANISED CORRUGATED ROOFING AND ROOF FLASHING. TIE DOWN TO RIDGE BEAMS AT GABLE ENDS.
27. REPLACE DETERIORATED TIMBER RAFTERS WITH SALVAGED /RECLAIMED TIMBER OF SIMILAR SPECIES AND DIMENSION. TIE DOWN TO RIDGE BEAMS AT GABLE ENDS.
28. REMOVE HALF HANGING TIMBER RAFTERS AND REPLACE WITH SALVAGED /RECLAIMED TIMBER OF SIMILAR SPECIES AND DIMENSION.
29. REMOVE TIMBER BLOCK PIECES BETWEEN RAFTERS. INSTALL TIMBER BATTENS TO SUIT NEW ROOFING.
30. REMOVE AND REPLACE TIMBER WALL PLATE WITH SALVAGED /RECLAIMED TIMBER OF SIMILAR SPECIES AND DIMENSION.
31. REMOVE LOOSE RUBBLE / STONES ALONG TOP OF WALL ON NORTH AND SOUTH ELEVATION. REINSTATE AND FILL IN GAPS BETWEEN TOP OF WALL AND ROOF STRUCTURE WITH SALVAGED RUBBLE/ STONES FROM SITE AND REPAIR MORTAR MIX. REINSTATE RENDER WITH REPAIR RENDER MIX.
32. CHECK AND REFIX ALL STEEL AND TIMBER COLLAR TIES.
33. REPLACE MISSING COLLAR TIES.



B2 1887 CELL BLOCK
CONSERVATION WORKS

LEGEND

CELL 03 (CONTINUED)

34. INSTALL HOLDING DOWN ANCHORS, STRAPS AND BATTENS. (STRUCTURAL INPUT FROM ENGINEER REQUIRED)
35. RETAIN REMNANT PAINT FROM PREVIOUSLY PAINTED DADO FROM ALL INTERNAL WALLS.
36. REMOVE CORRUGATED SHEETING OVER WINDOW ON REAR WALL. REMOVE TIMBER PROPS AND LINTEL. REPLACE TIMBER LINTEL WITH SALVAGED / RECLAIMED TIMBER OF SIMILAR SPECIES AND DIMENSION
37. CAREFULLY REMOVE LOOSE AND DRUMMY RENDER AROUND WINDOW ON REAR WALL. CHECK EXISTING STONEWALLS FOR CRACKS AND MISSING JOINTS. REPOINT CRACKS AND MISSING JOINTS WITH REPAIR MORTAR MIX. REINSTATE AREAS OF REMOVED RENDER WITH REPAIR RENDER MIX;
38. REPOINT AND FILL IN CRACKS ON WINDOW SILL WITH REPAIR RENDER MIX;
39. REMOVE TIMBER SUPPORT FROM WINDOW ON REAR WALL (WINDOW WITH IRON GRILLES). CHECK STRUCTURAL ADEQUACY OF EXISTING TIMBER LINTEL. REPLACE TIMBER LINTEL, IF REQUIRED, WITH SALVAGED / RECLAIMED TIMBER OF SIMILAR SPECIES AND DIMENSION;
40. REMOVE EXISTING TIMBER FRAME AND SUPPORTS AROUND DOOR OPENING;
41. CAREFULLY REPAIR AND REINSTATE RENDER ON GABLE WALL AT HIGH LEVEL (DIVIDING WALL BETWEEN CELL 02 AND CELL 03);
42. REMOVE EXISTING RENDER REPAIRS AROUND WINDOW LINTELS ON THE EXTERNAL WALL. REINSTATE HARDWOOD LINTELS THROUGHOUT. USE MALTHOID FLASHING OVER FULL WIDTH OF LINTEL. PACK TIGHT TO UNDERSIDE OF MASONRY OVER.
43. REMOVE MUD TRAILS AROUND TIMBER FRAME OF EXISTING WINDOW (BOTTOM WINDOW);
44. REMOVE SURFACE RUST FROM IRON GRILLES ON ALL WINDOWS. COAT IRON GRILLES WITH 'PENETROL' ;
45. PATCH REPAIR CRACKED WINDOW SILL ON THE BOTTOM WINDOW AND RE-RENDER WITH RENDER REPAIR MIX.

CELL 04

46. REMOVE AND REPLACE EXISTING SKILLION ROOF WITH GABLE ROOF. EXTEND GABLE ROOF OVER CELL 03 TO CELL 04. PROVIDE NEW TIMBER ROOF STRUCTURES, GALVANISED CORRUGATED IRON ROOFING, ROOF FLASHING, HOLD DOWN ANCHORS, STRAPS AND BATTENS. TIE DOWN TO RIDGE BEAMS AT GABLE ENDS. REFER TO SK1.2.3 WORK ITEMS 52 TO 57 FOR WORKS ASSOCIATED WITH NEW ROOF.
47. REMOVE SURFACE RUST FROM IRON GRILLES ON ALL WINDOWS. COAT IRON GRILLES WITH 'PENETROL'

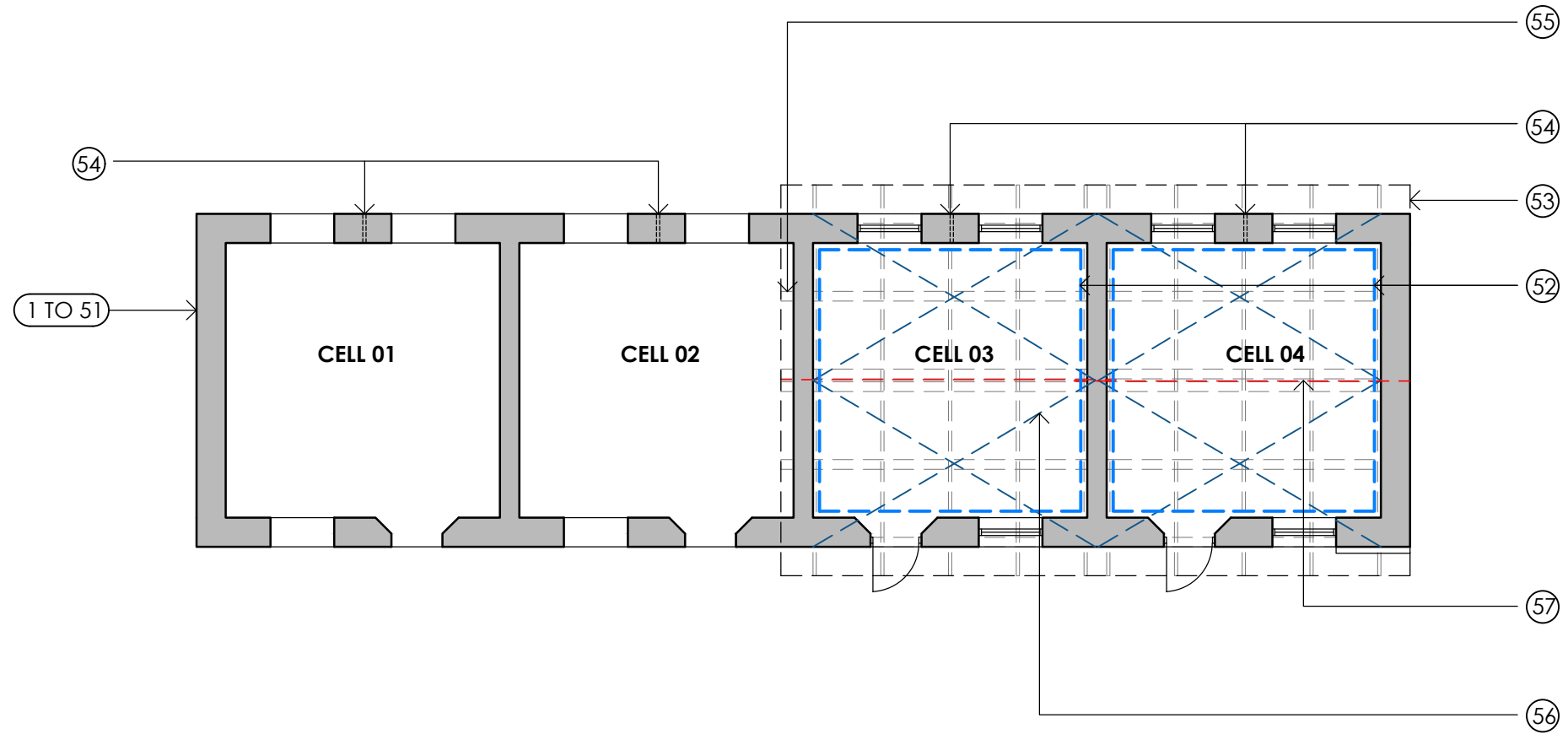
CELL 04 (CONTINUED)

48. REMOVE CEMENT RENDER REPAIRS AROUND WINDOW LINTELS ON THE SOUTH WALL (INTERNAL FACE AND REVEALS). REINSTATE HARDWOOD LINTELS THROUGHOUT. USE MALTHOID FLASHING OVER FULL WIDTH OF LINTEL. PACK TIGHT TO UNDERSIDE OF MASONRY OVER.
49. REMOVE CRACKED AND DRUMMY RENDER AROUND WINDOWS AND IN REVEALS (SOUTH WALL, INTERNAL FACE). REPAIR WITH RENDER REPAIR MIX. NOTE: EXISTING RENDER IN THIS CELL IS LIKELY TO CONTAIN CEMENT. RENDER REPAIR MIX TO BE OF SIMILAR MIX AND RATIO TO ENSURE COMPATIBILITY OF BOTH EXISTING AND REPAIR RENDERS.
50. PATCH REPAIR DAMAGED AND CRACKED RENDER AROUND LINTEL ON THE BOTTOM WINDOW (NORTH WALL, INTERNAL FACE) WITH RENDER REPAIR MIX.

IMMEDIATE ACTIONS

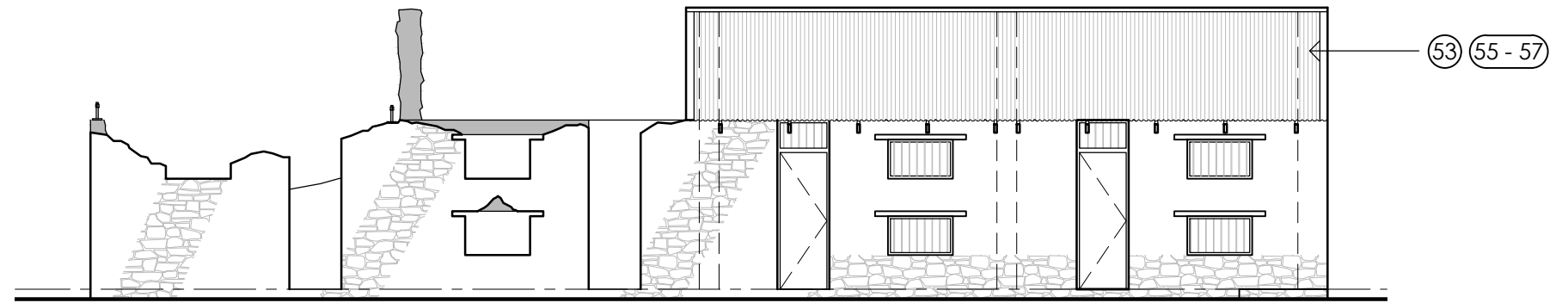
51. RE-SECURE EXISTING ROOF SHEETS WITH CYCLONIC SCREWS (PRE-DRILLED) REINSTATE CYCLONE TIE DOWN AS GOOD AS POSSIBLE.



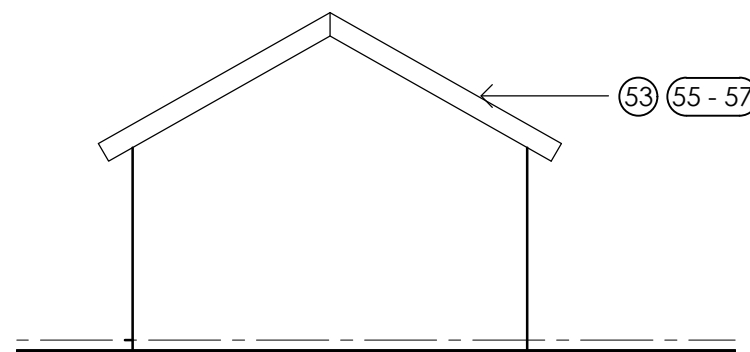


CONSERVATION AND INTERPRETATION - PLAN

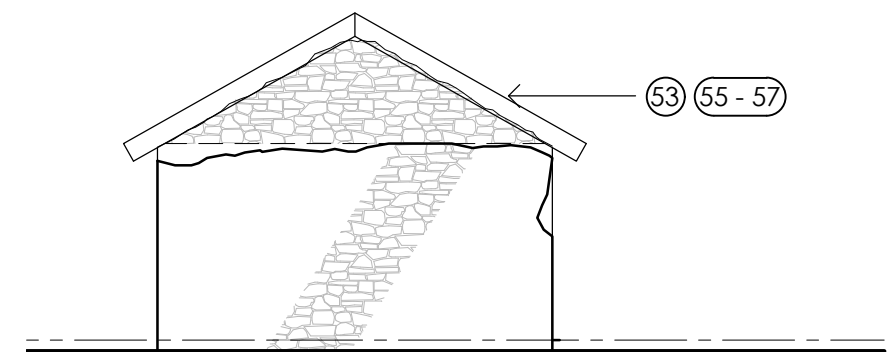
B2 1887 CELL BLOCK
 SCALE 1:100 @ A3



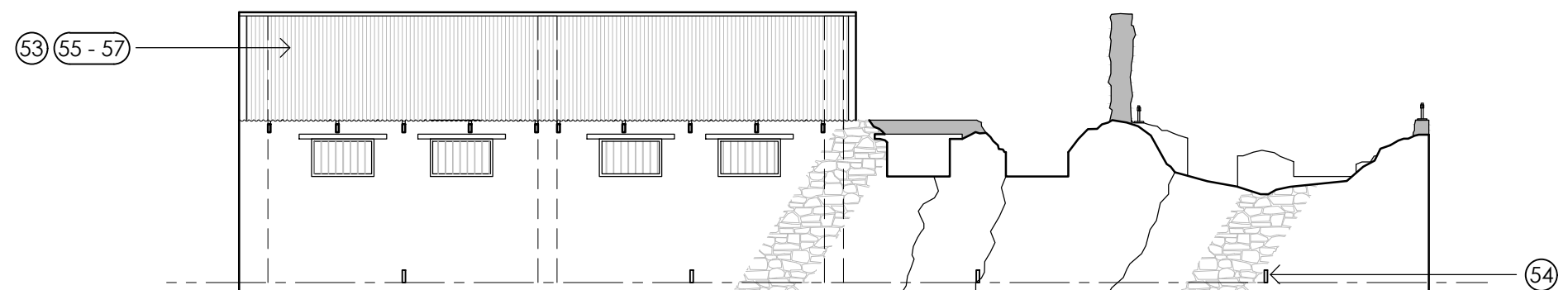
NORTH ELEVATION



WEST ELEVATION



EAST ELEVATION



SOUTH ELEVATION

CONSERVATION AND INTERPRETATION - ELEVATIONS

B2 1887 CELL BLOCK

SCALE 1:100 @ A3

B2 1887 CELL BLOCK

CONSERVATION AND INTERPRETATION

PROPOSED USE:

- PART OF MUSEUM FOR ROEBOURNE HERITAGE PRECINCT
- INTERPRETATION ONLY

LEGEND

GENERAL

UNDERTAKE ALL WORK ITEMS 1 TO 51 (REFER TO SK1.1.3 AND SK1.1.4) AND ADDITIONAL WORKS AS FOLLOWS:

52. THE EXISTING BLACK PAINT (POSSIBLY TAR BASED) TO BE RETAINED AS MUCH AS POSSIBLE FOR INTERPRETATION PURPOSES. IF EXTANT OF DRUMMY AND LOOSE RENDER EXCEEDS MORE THAN 50% OF THE INTERNAL SURFACE AREA, NOTIFY HERITAGE ARCHITECT FOR FURTHER INSTRUCTIONS. IT IS ANTICIPATED FOR THE TWO TONE COLOUR SCHEME TO BE REINSTATED FOR INTERPRETATION PURPOSES.
53. REMOVE AND REPLACE EXISTING SKILLION ROOF OVER CELL 03 AND CELL 04 WITH GABLE ROOF. EXTEND GABLE ROOF OVER CELL 03 TO CELL 04.

CAREFULLY DISCONNECT FROM ANY STEEL TIE DOWN FEATURES BUILT INTO STONework. THIS MAY INVOLVE FREEING OF RUSTING NUTS FROM RUSTING THREADED BARS. THIS MUST BE ATTEMPTED AS A PRIORITY TO CUTTING WALL PLATES. DO NOT CUT ANY EMBEDDED TIE-DOWN COMPONENTS. ENGINEER TO INSPECT EXISTING TIE DOWNS FOR POSSIBLE RE-USE.

AFTER COMPLETION OF ANY STRUCTURAL WALL REPAIRS, PREPARE WALL TOP FOR RECEIVING REINSTATEMENT OF WALL PLATE.

PREPARE ALL RE-USABLE TIMBERS (ESTIMATE 25% FOR THE PURPOSE OF FEASIBILITY) AND SOURCE ADDITIONAL TIMBER STOCK, PREFERABLY RECLAIMED, AS REQUIRED TO COMPLETE THE WORKS.

RECONSTRUCT PERIMETER WALL PLATE. USE HALF LAP JOINTS AT CORNERS AND AS REQUIRED, FIXED WITH 4 NO GALV BUGLE BATON SCREWS.

TIE DOWN WALL PLATE TO WALL MASONRY AS INDICATED ON DWG NO SK 2.1.2.

ROOF RECONSTRUCTION IS A SIMPLE CATHEDRAL ROOF WITH A SINGLE RIDGE BEAM SUPPORT ONLY IN ADDITION TO EXTERNAL WALLS.

PROVISIONAL MINIMUM TIMBER SIZES (ALL SEASONED JARRAH HARDWOOD OR EQUIVALENT, MIN GRADE F14):

- WALL PLATE: 125 x 75
- RIDGE BEAMS: 2 / 260 X 40 OR 250 X 100
- COMMON RAFTERS: 175 X 30 OR 150 X 50 @ CTRS AS PER PLAN (5 NOs PER CELL ROOF)
- ROOF BATTENS: 40 X 105 @ CTRS TO SUIT ROOF SHEETING (MAX 1200)

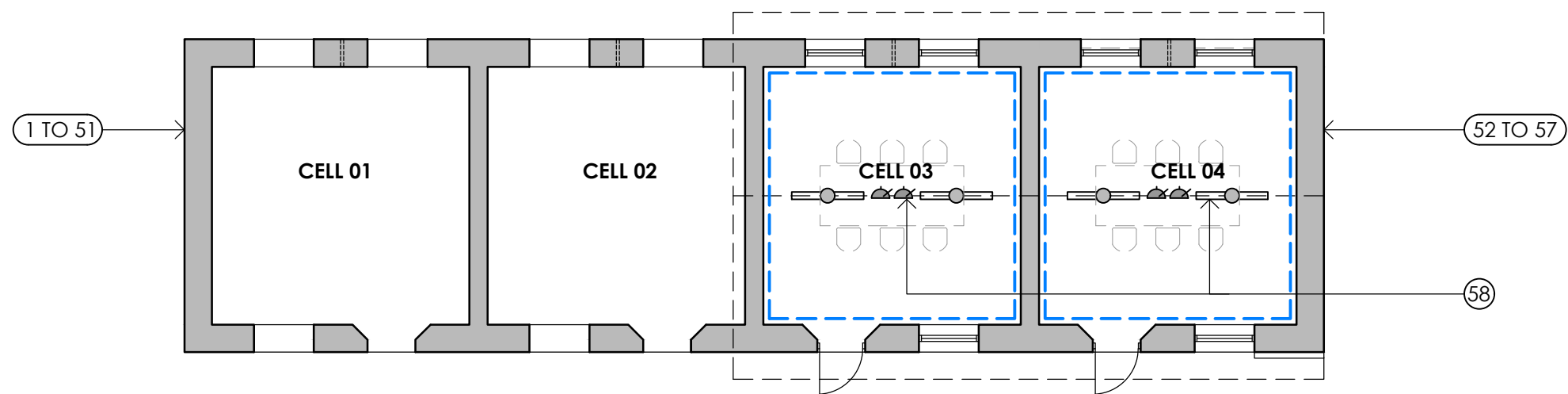
TYPICAL CONNECTIONS (ALL FIXING COMPONENTS GALV)

RAFTERS TO RIDGE: 2 X FRAMING ANCHORS

RAFTERS TO WALL PLATES: 2 X FRAMING ANCHORS

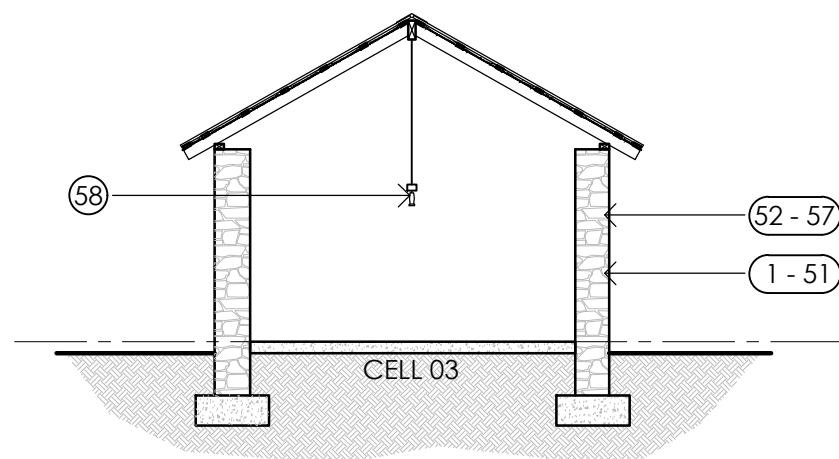
GENERAL (CONTINUED)

54. MACRO DRAINAGE PROVISION REQUIRED FOR FLOOR SLABS. PROVIDE OUTLETS THROUGH WALLS WITH POSITIVE LOCAL GROUND RE-MODELLING FOR STORM WATER DISPOSAL AWAY FROM RUINS. CAREFULLY CUT OUT SLOTS IN WALL (ABOVE FINISHED LEVEL OF EXISTING CONCRETE SLAB) FOR SURFACE RUN-OFFS.
55. ROOF BATTENS TO CANTILEVER OVER TOP OF EXTERNAL GABLE WALLS. FIX EACH DOWN TO MASONRY WITH SINGLE GALV M12 CHEM ANCHOR, 100mm EMBEDMENT (TYP).
56. PROVIDE DOUBLE STRAP BRACING OVER RAFTERS BEFORE BATTENS (TYP) ALTERNATIVE: SINGLE 100 X 50 JARRAH TO UNDERSIDE OF RAFTERS.
57. RIDGE BEAMS LAPPED AND BOLTED TOGETHER OVER CELL DIVIDING WALL. PROVIDE TIE-DOWN TO BEAM DOWN INSIDE FACE OF ONE CELL - DETAIL SIMILAR TO WALL PLATE TIE DOWN.

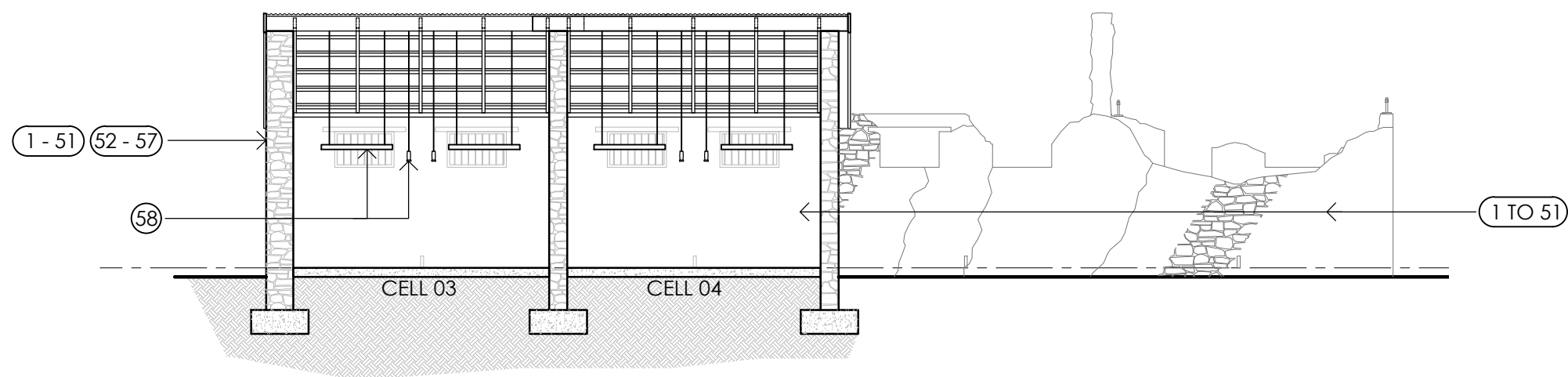


CONSERVATION AND OCCASIONAL USE - PLAN

B2 1887 CELL BLOCK
SCALE 1:100 @ A3



CROSS SECTION



SECTION ACROSS CELL 03 AND CELL 04

CONSERVATION AND OCCASIONAL USE - ELEVATIONS

B2 1887 CELL BLOCK

SCALE 1:100 @ A3

B2 1887 CELL BLOCK
CONSERVATION AND OCCASIONAL USE

PROPOSED USE:

- PART OF MUSEUM FOR ROEBOURNE HERITAGE PRECINCT
- OCCASIONAL MEETING / ACTIVITY ROOM

LEGEND

GENERAL

UNDERTAKE ALL WORK ITEMS 1 TO 51 (REFER TO SK1.1.3 AND SK1.1.4), 52 TO 57 (REFER TO SK1.2.3) AND ADDITIONAL WORKS AS FOLLOWS:

58. NEW SERVICES TO CELL 03 AND CELL 04 INCLUDING LIGHTING AND POWER. 2 NOS. OF SUSPENDED LINEAR LIGHTS AND 2 NOS. SUSPENDED POWER OUTLETS.



7.2. B3: 1887 Kitchen/Day Room

Option	Proposal	Recommendation	Timeframe for works to be carried out
Option 1	Demolition in full	Not recommended	--
Option 2	Board up and left as stabilised ruins with interpretation	Not recommended	--
Option 3	Maintenance to allow for safe access without new use apart from interpretation Immediate action required to secure debris from damaging other buildings and safety hazards	Recommended	Within the next 12 months As soon as possible, within the next 6 months, before cyclone season.
Option 4	Restore to allow for occasional use but not full time occupation	Recommended	Within 2 years
Option 5	Complete restoration with new use	Recommended	3 years and beyond

Refer to the following drawings for 'Conservation Works'

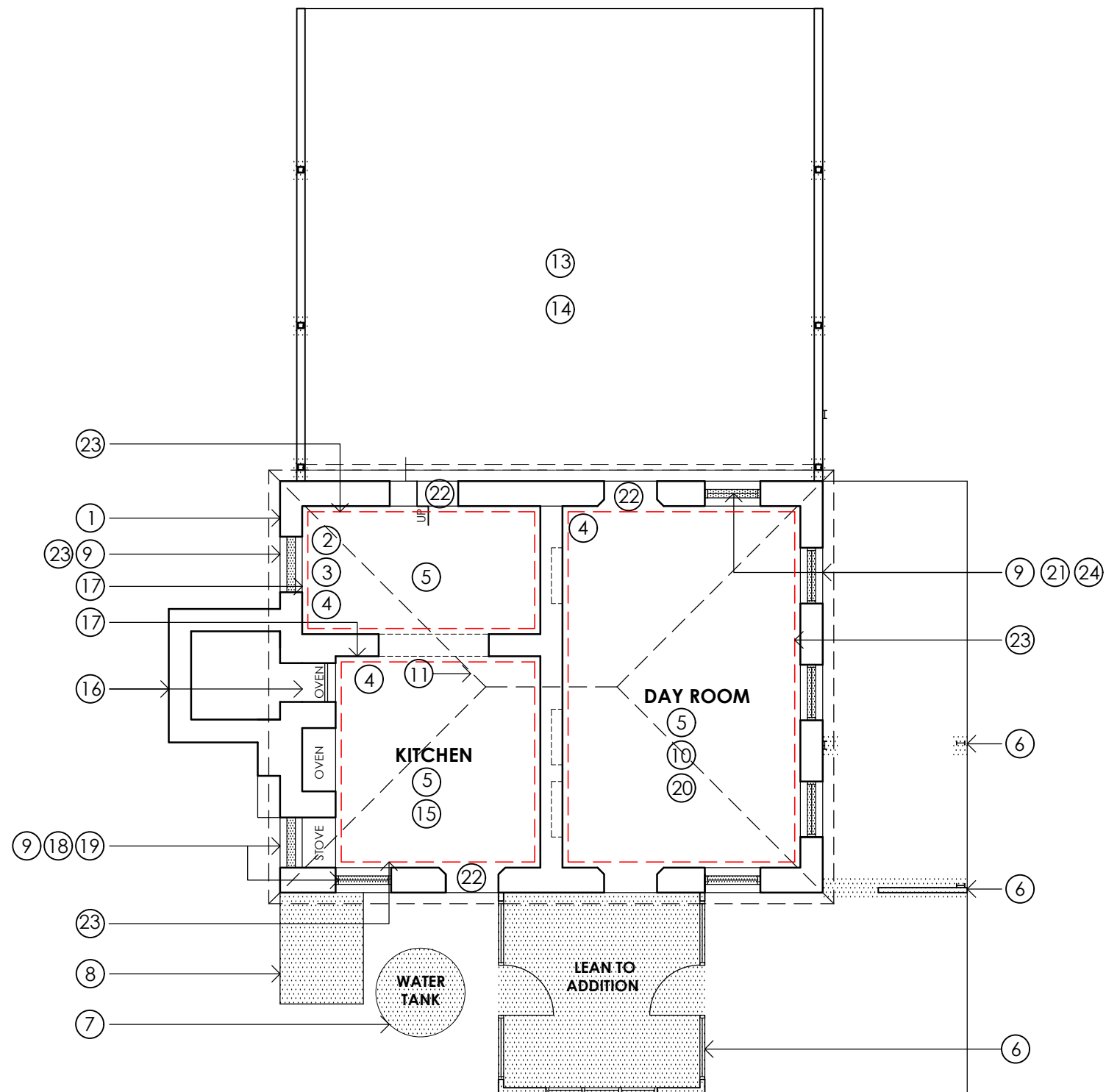
- SK2.1.1
- SK2.1.2
- SK2.1.3

Refer to the following drawings for 'Conservation Works' to allow for 'Occasional Use' (Option 4)

- SK2.2.1
- SK2.2.2
- SK2.2.3

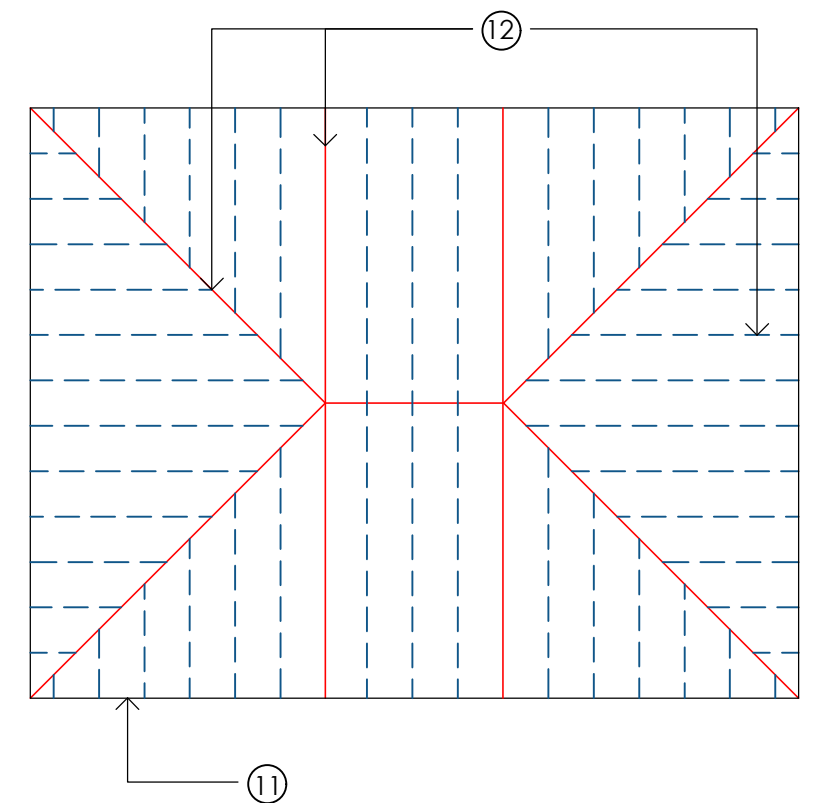
Refer to the following drawings for 'Conservation Works' to allow for 'New Use' (Option 5)

- SK2.3.1
- SK2.3.2
- SK2.3.3

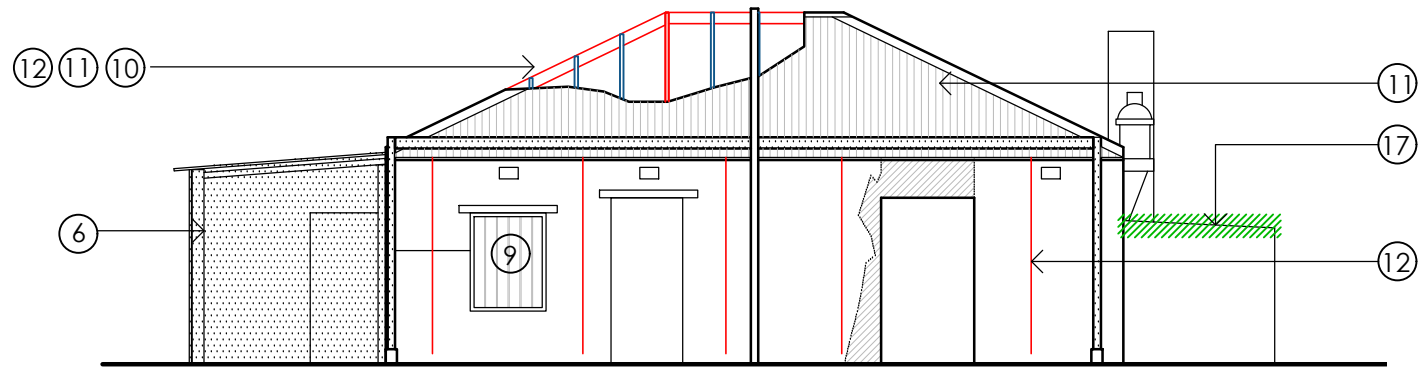


CONSERVATION WORKS - PLAN

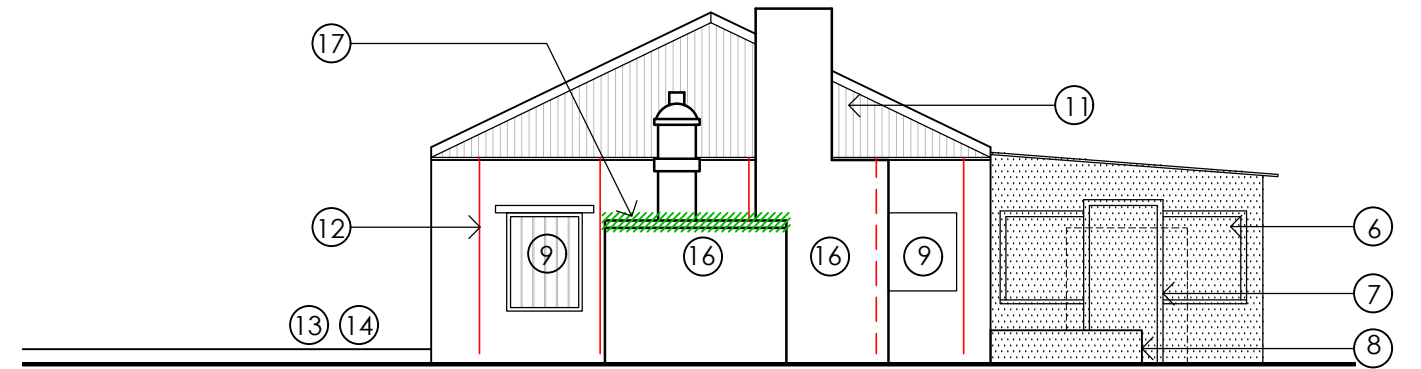
B3 1887 KITCHEN BUILDING
SCALE 1:100 @ A3



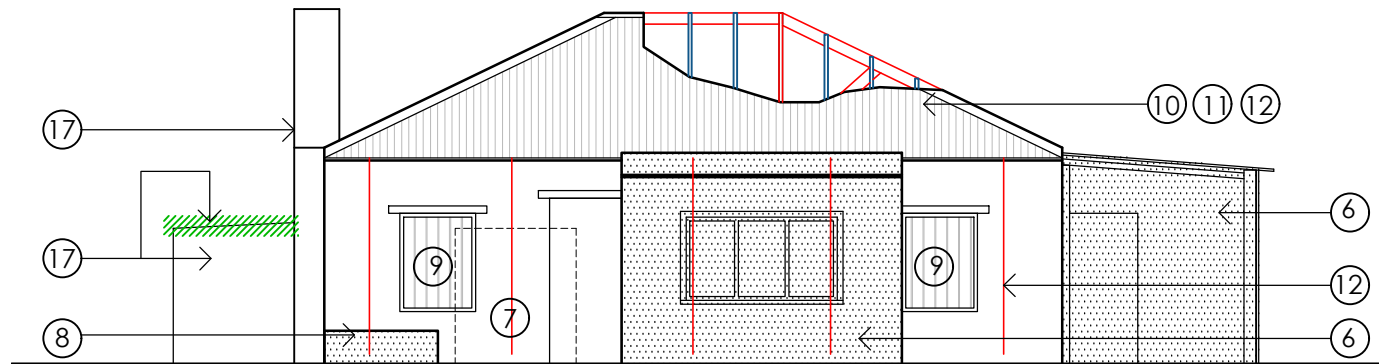
CONSERVATION WORKS - ROOF PLAN



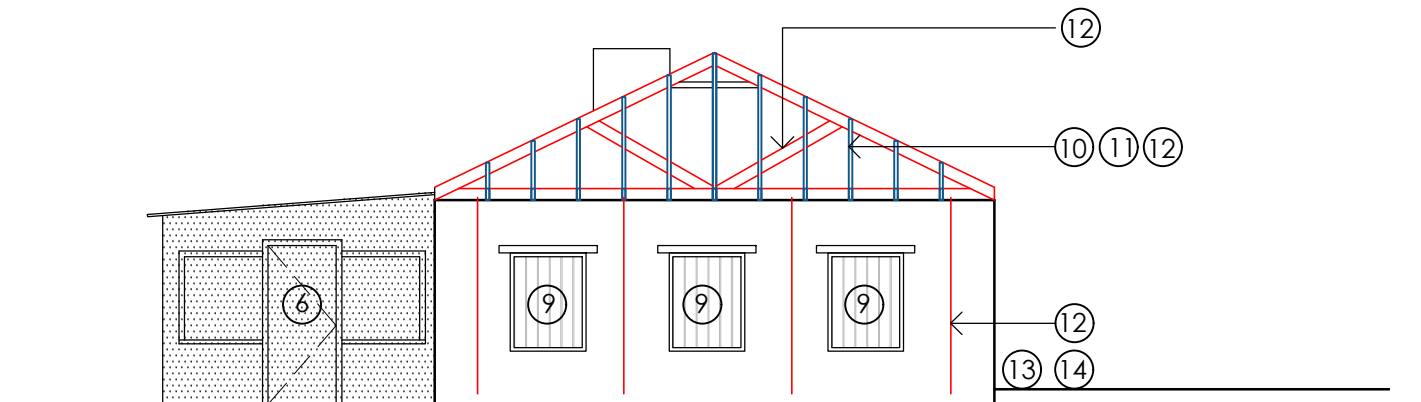
NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION

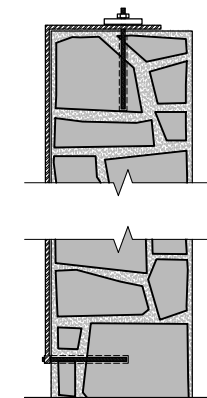
CONSERVATION WORKS - ELEVATIONS

B3 1887 KITCHEN BUILDING

SCALE 1:100 @ A3

TYPICAL WALL PLATE TIE-DOWN DETAIL

100 X 10 GALV M.S. TWO-PART CLAMPED
SADDLE AROUND WP. M16 EXTERNAL M.S.
TIE DOWN ROD WITH EYELET AT BOTTOM
END. M20 CHEMSET ANCHOR INTO FACE
OF WHOLE STONE, 200MM EMBEDMENT.
HOLES CORE DRILLED. ALL COMPONENTS
GALVANISED AND PAINTED WHERE
REQUIRED.



B3 1887 KITCHEN
CONSERVATION WORKS

LEGEND

STRUCTURAL NOTES

- ROEBOURNE IS LOCATED IN ONE OF THE MOST SEVERE CYCLONIC WIND REGIONS IN AUSTRALIA - REGION D, TERRAIN CATEGORY 2.
- ROOF CONSTRUCTION AND RE-CONSTRUCTION MUST PAY STRONG ATTENTION TO MEMBER FIXINGS AND TIE DOWN DESIGN. THESE MUST BE IN ACCORDANCE WITH 'AS1684.3-2010 'RESIDENTIAL TIMBER FRAMED CONSTRUCTION, PART 3: CYCLONIC AREAS'.
- IN A RE-CONSTRUCTION SCENARIO, IT IS LIKELY THAT A NUMBER OF EXITING ROOF MEMBERS CANNOT BE RE-EMPLOYED IN THEIR PREVIOUS ROLE. EXISTING TIMBER CAN HOWEVER BE EMPLOYED WHERE SIZE AND CONDITION ALLOWS AND FOR CREATING BUILT UP SECTIONS OF LARGER SIZE.
- ROOF TO WALL TIE DOWN PROVISIONAL WILL TYPICALLY REQUIRE EXPOSED EXTERNAL PERIMETER STEEL TIE DOWN RODS LINKING TOP WALL PLATES TO WALL MASONRY AT LOW LEVEL. IN SOME CASES, EXISTING BUILT IN STEEL ROD TIE DOWN MAY BE RE- USED SUBJECT TO NATURE, CONDITION AND DEPTH. FOR THE PURPOSE OF THIS FEASIBILITY EXERCISE HOWEVER, IT IS ASSUMED THAT NONE OF THESE ARE APPROPRIATE FOR RE-USE.

GENERAL

1. STABILISE AND RETAIN KITCHEN AND ADJOINING 'DAY ROOM'
2. COLLECT SAMPLES (THREE SAMPLES FROM VARIOUS LOCATIONS) OF MORTAR MIX FROM EXISTING STONEWALLS. TEST FOR COMPOSITION AND RATIO OF EACH COMPONENT MAKING UP THE MORTAR MIX. PROVIDE SAMPLES OF REPAIR MORTAR MIX BASED ON THE TEST RESULTS
3. COLLECT SAMPLES (THREE SAMPLES, TWO IN EACH AREA OF THE KITCHEN AND ONE FROM 'DAY ROOM') OF INTERNAL RENDER MIX FROM EXISTING WALLS. TEST FOR COMPOSITION AND RATIO OF EACH COMPONENT MAKING UP THE RENDER MIX. PROVIDE SAMPLES OF REPAIR RENDER MIX BASED ON THE TEST RESULTS
4. REMOVE DEBRIS FROM EACH OF THE ROOMS
5. RETAIN EXISTING CONCRETE FLOOR IN EACH OF THE ROOMS
6. REMOVE SKILLION ROOFED TIMBER FRAMED ADDITION TO THE REAR OF 'DAY ROOM' AND KITCHEN
7. REMOVE WATER TANK
8. REMOVE CONCRETE SLAB AND RETAINING WALL
9. REMOVE ALL DETERIORATED TIMBER FRAMED WINDOWS, ASSOCIATED FLASHING AND IRON GRILLES
10. REMOVE REMNANT FROM COLLAPSED CEILING IN THE 'DAY ROOM'
11. CAREFULLY DECONSTRUCT TIMBER ROOF FRAMING AND CEILING BOARDS. RECORD ROOF FORM AND ROOF PITCH. REMOVE EXISTING ROOFING AND FLASHING. SORT AND INSPECT TIMBER ROOF FRAMING. SALVAGE SOUND TIMBER FOR REUSE IN PROJECT AND DISCARD DETERIORATED TIMBER. RETAIN LENGTH OF ALL MEMBERS AS FAR AS PRACTICAL.

DECONSTRUCTION TO INCLUDE WALL PLATES. CAREFULLY DISCONNECT FROM ANY STEEL TIE DOWN FEATURES BUILT INTO STONEMWORK. THIS MAY INVOLVE FREEING OF RUSTING NUTS FROM RUSTING THREADED BARS. THIS MUST BE ATTEMPTED AS PRIORITY TO CUTTING WALL PLATES. DO NOT CUT ANY EMBEDDED TIE-DOWN COMPONENTS. ENGINEER TO INSPECT EXISTING TIE DOWNS FOR POSSIBLE RE-USE.

GENERAL (CONTINUED)

- AFTER COMPLETION OF ANY STRUCTURAL WALL REPAIRS, PREPARE WALL TOP FOR RECEIVING REINSTATEMENT OF WALL PLATE.
12. RECONSTRUCT ROOF USING SALVAGED AND RECYCLED TIMBER OF SIMILAR SPECIES TO MATCH THE ORIGINAL ROOF FORM AND ROOF PITCH. RE-ROOF WITH GALVANISED CORRUGATED ROOFING AND ROOF FLASHING. INSTALL HOLDING DOWN ANCHORS, STRAPS AND BATTENS. (STRUCTURAL INPUT FROM ENGINEER REQUIRED).

PREPARE ALL RE-USABLE TIMBERS (ESTIMATE 25% FOR THE PURPOSE OF FEASIBILITY) AND SOURCE ADDITIONAL TIMBER STOCK, PREFERABLY RECLAIMED, AS REQUIRED TO COMPLETE THE WORKS.

RECONSTRUCT PERIMETER WALL PLATE. USE HALF LAP JOINTS AT CORNERS AND AS REQUIRED, FIXED WITH 4 NO GALV BUGLE BATON SCREWS.

TIE DOWN WALL PLATE TO WALL MASONRY. TYPICAL WALL PLATE TIE DOWN DETAIL - 100 X 10 GALV M.S. TWO-PART CLAMPED SADDLE AROUND WP. M16 EXTERNAL M.S. TIE DOWN ROD WITH EYELET AT BOTTOM END. M20 CHEMSET ANCHOR INTO FACE OF WHOLE STONE, 200mm EMBEDMENT. HOLES CORE DRILLED. ALL COMPONENTS GALVANISED AND PAINTED WHERE REQUIRED.

ROOF RECONSTRUCTION IS A SIMPLE CATHEDRAL ROOF WITH A SINGLE RIDGE. PROVISIONAL MINIMUM TIMBER SIZES (ALL SEASONED JARRAH HARDWOOD OR EQUIVALENT, MIN GRADE F14):

WALL PLATE:	125 X 75
ROOF TRUSSES:	SEE DWG. NO. SK 2.1.2
HIP RAFTERS:	2 / 220 X 40 OR 225 X 75
RIDGE:	
COMMON RAFTERS:	175 X 30 OR 150 X 50 @ 600 C/C
COLLAR TIES / CEILING JOISTS	
TO N-S RAFTER PAIRS:	175 X 30 OR 150 X 50 @ 600 C/C

TYPICAL CONNECTIONS (ALL FIXING COMPONENTS GALV)

TRUSSES TO WALL PLATE:	10mm STEEL CLEATS WITH BOLTS
HIPS TO WP AND TRUSS:	10mm STEEL CLEATS WITH BOLTS
RIDGE TO TRUSS:	10mm STEEL CLEATS WITH BOLTS
RAFTERS TO WP, HIPS AND RIDGE:	2 X FRAMING ANCHORS
CEILING JOISTS TO RAFTERS:	2 X M10 BOLTS
FLY BRACES TO TRUSS AND HIP:	2 X M10 BOLTS

FORMER GARAGE / MECHANIC

13. RETAIN CONCRETE SLAB AND VEHICLE PIT FOR INTERPRETATION PURPOSES. REMOVE ALL REMAINING STEEL POSTS AND MAKE AREA SAFE
14. CLEAR VEGETATION AND DEBRIS FROM SURFACE OF CONCRETE SLAB.

KITCHEN

15. RECONSTRUCT TIMBER BOARD CEILING
16. RETAIN EXISTING BUILT IN STOVE AND BAKING OVENS. REMOVE ALL DEBRIS AND CLEAN ALL SURFACES. COAT ALL IRON ELEMENTS WITH PROTECTIVE COATING 'PENETROL'.
17. RE-POINT CRACK IN BRICKWORK. REPAIR/REINFORCE CRACK USING RUBERSTEIN SPIRAL ANCHOR, HELIFIX OR SIMILAR. RETAIN AND CONSERVE FLAT STONE AND RENDERED ROOF COVER ABOVE OVENS. RE-RENDER STONE ROOFS WITH APPROVED RENDER MIX.

KITCHEN (CONTINUED)

18. RECONSTRUCT TIMBER FRAMED WINDOWS, ASSOCIATED FLASHING AND IRON GRILLES TO MATCH ORIGINAL DESIGN USING SALVAGED / RECYCLED TIMBER OF SIMILAR SPECIES. COAT IRON GRILLES WITH 'PENETROL'
19. INSTALL STORM SHUTTERS TO ALL WINDOW OPENINGS.

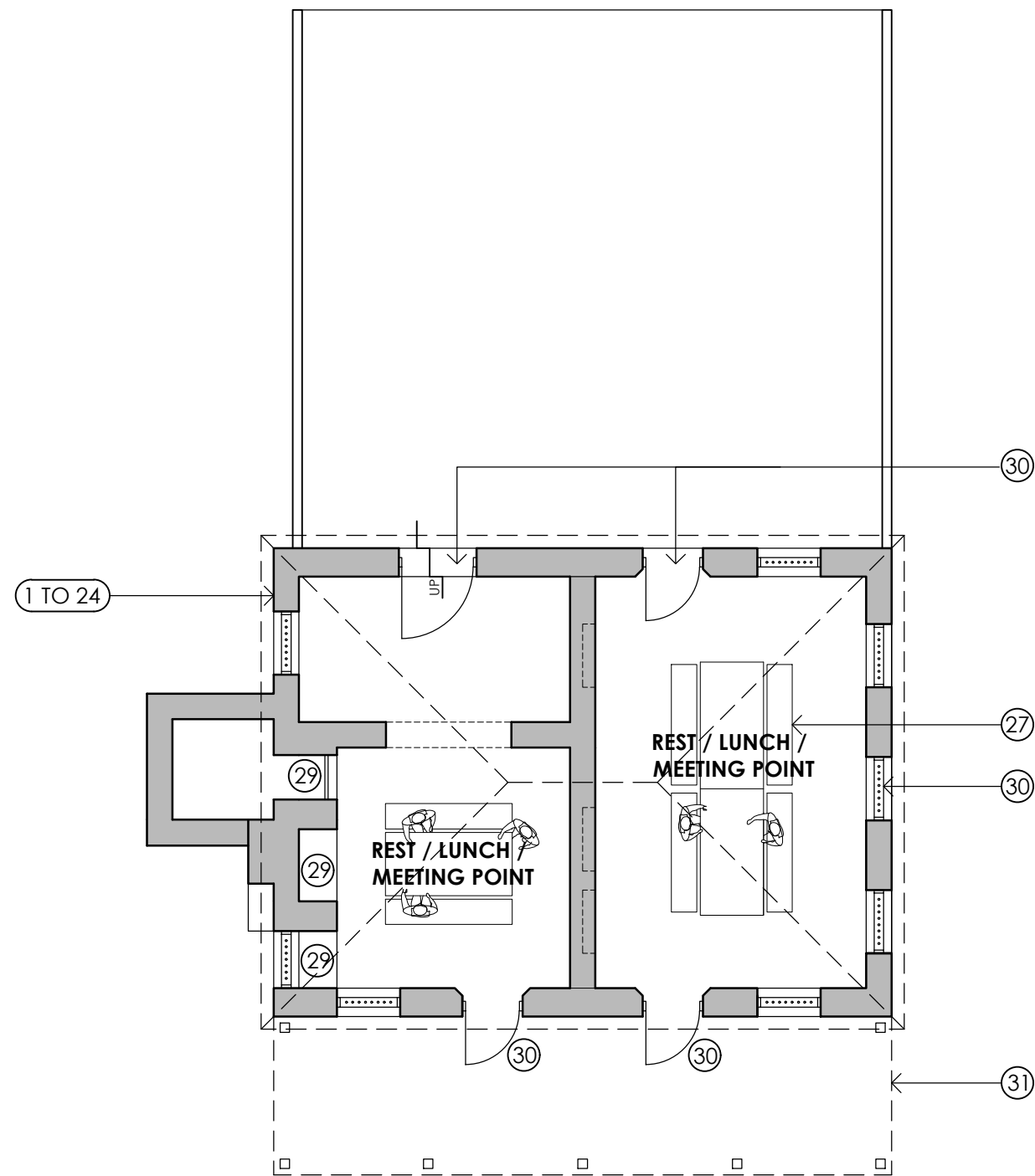
DAY ROOM

20. RECONSTRUCT TIMBER BOARD CEILING WITH GALVANISED CORRUGATED IRON CEILING LINING IN 'RIPPLE' PROFILE TO MATCH ORIGINAL CEILING
21. RECONSTRUCT TIMBER FRAMED WINDOWS, ASSOCIATED FLASHING AND IRON GRILLES TO MATCH ORIGINAL DESIGN USING SALVAGED / RECYCLED TIMBER OF SIMILAR SPECIES. COAT IRON GRILLES WITH 'PENETROL'
22. RECONSTRUCT TIMBER FRAMED DOORS TO MATCH ORIGINAL DESIGN. INSTALL NEW HARDWARE TO SUIT PERIOD OF THE BUILDING
23. REMOVE FLAKY PAINT AND PREPARE ALL INTERNAL WALL SURFACES FOR NEW PAINT FINISH. REPAINT WITH LIME BASED PAINT / LIMEWASH TO ALL INTERNAL WALL SURFACES.
24. INSTALL STORM SHUTTERS TO ALL WINDOW OPENINGS.

IMMEDIATE ACTIONS

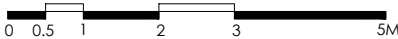
25. UNDERTAKE WORK ITEMS 6, 10 AND 11 TO PROTECT NEARBY BUILDINGS FROM FLYING DEBRIS IN CASE OF A CYCLONE.
26. UNDERTAKE WORK ITEM 12.





CONSERVATION WORKS AND OCCASIONAL USE - PLAN

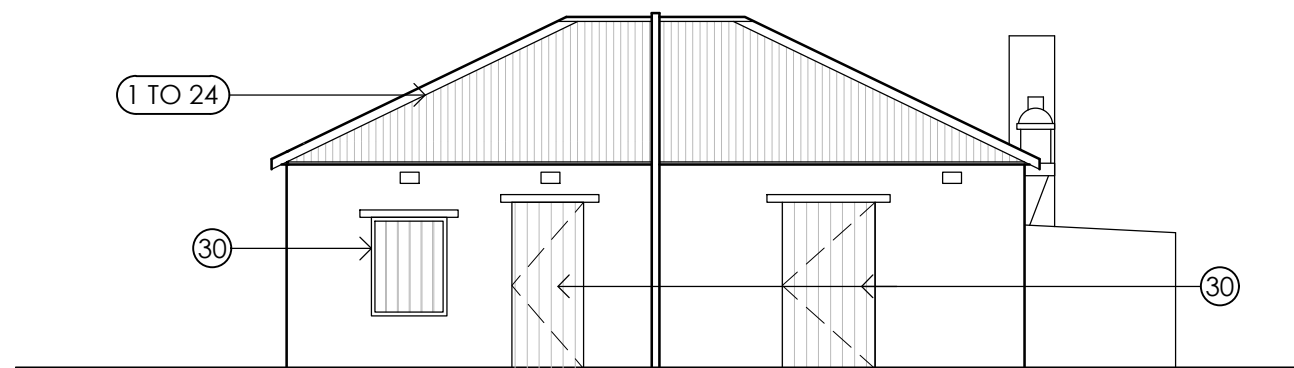
B3 1887 KITCHEN BUILDING
 SCALE 1:100 @ A3



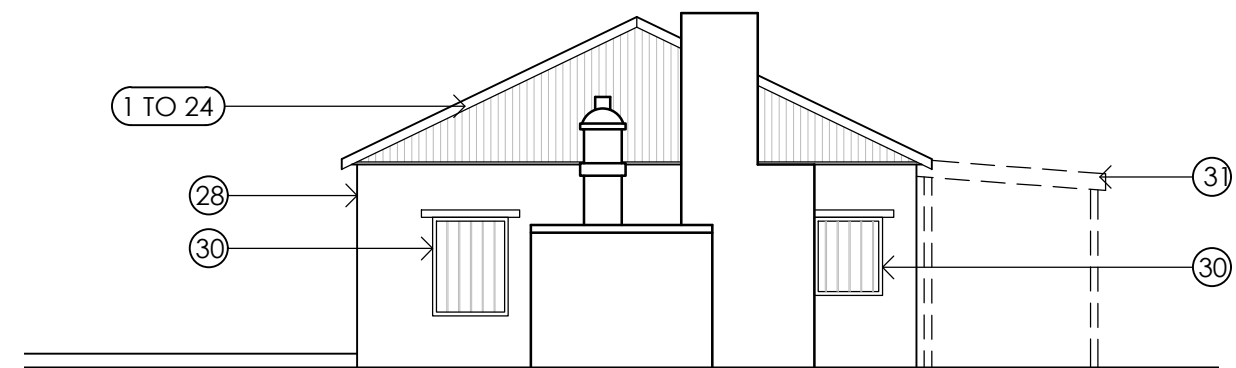
DRAWING: SK2.2.1
 REVISION : 8
 DATE : 30.06.17



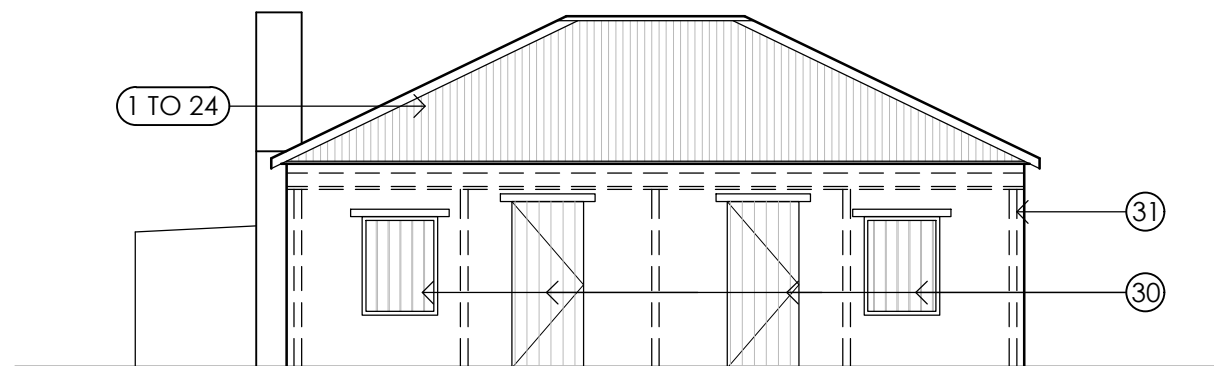
A 156 Onslow Road, Shenton Park Western Australia 6008
 P PO Box 7041, Shenton Park Western Australia 6008
 T +61 8 9388 2810
 F +61 8 9388 2817
 W www.hockingheritagestudio.com.au



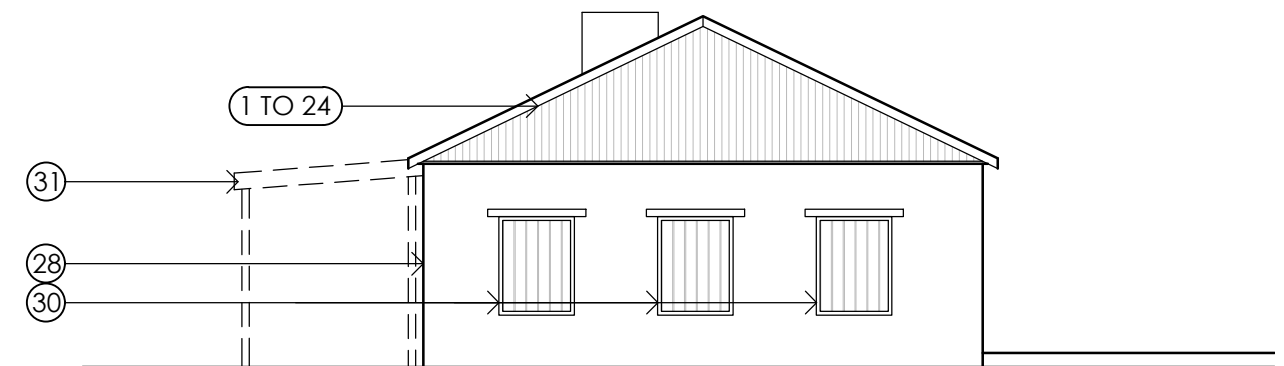
NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION

CONSERVATION WORKS AND OCCASIONAL USE - ELEVATIONS

B3 1887 KITCHEN BUILDING

SCALE 1:100 @ A3

B3 1887 KITCHEN BUILDING
CONSERVATION WORK AND OCCASIONAL USE

PROPOSED OCCASIONAL USE:

- PART OF MUSEUM FOR ROEBOURNE HERITAGE PRECINCT
- REST / LUNCH AREA FOR VISITORS, SCHOOL GROUPS, TOUR GROUPS

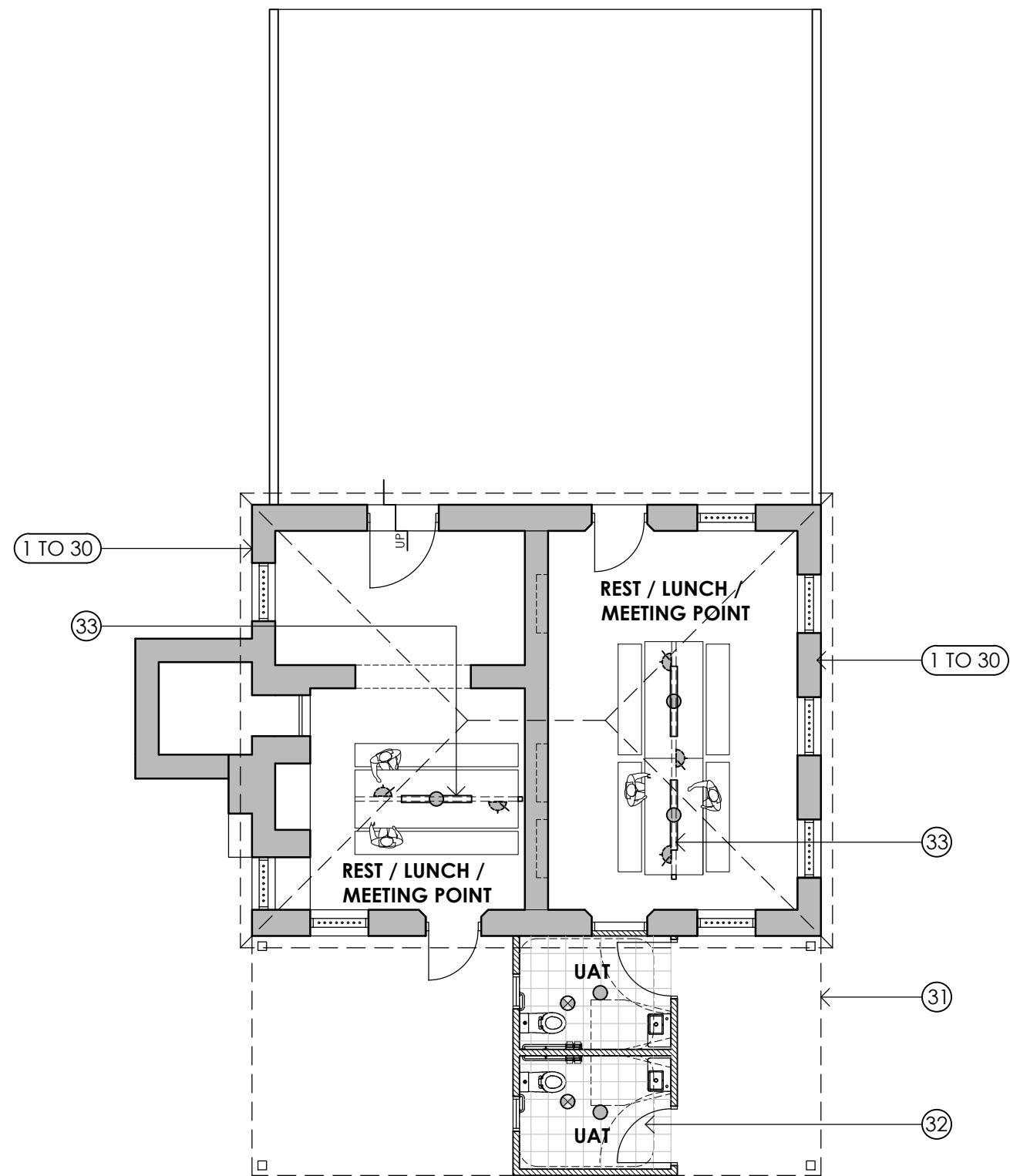
LEGEND

GENERAL

UNDERTAKE ALL WORK ITEMS 1 TO 26 (REFER TO SK2.1.3) AND ADDITIONAL WORKS AS FOLLOWS:

- 27. PROVIDE LONG TABLE AND BENCH SEATING IN EACH ROOM. THESE ROOMS CAN BE MADE ACCESSIBLE FOR OCCASIONAL USE BY VISITORS AS LUNCH / REST STOP, MEETING POINTS FOR SCHOOL GROUPS, ETC.
- 28. NO SERVICES REQUIRED TO THE BUILDING.
- 29. CONSERVE OVENS AND STOVE FOR INTERPRETATION PURPOSES.
- 30. RECONSTRUCT TIMBER FRAMED LEDGE AND BRACE DOORS, TIMBER FRAMED WINDOWS WITH IRON GRILLES AND TIMBER LINTELS TO MATCH ORIGINAL. USE SALVAGED / RECYCLED TIMBER OF SIMILAR SPECIES AND SIZE.
- 31. OPTION FOR SKILLION ROOF AND OUTDOOR AREA, OVERLOOKING THE GAOL BUILDINGS.

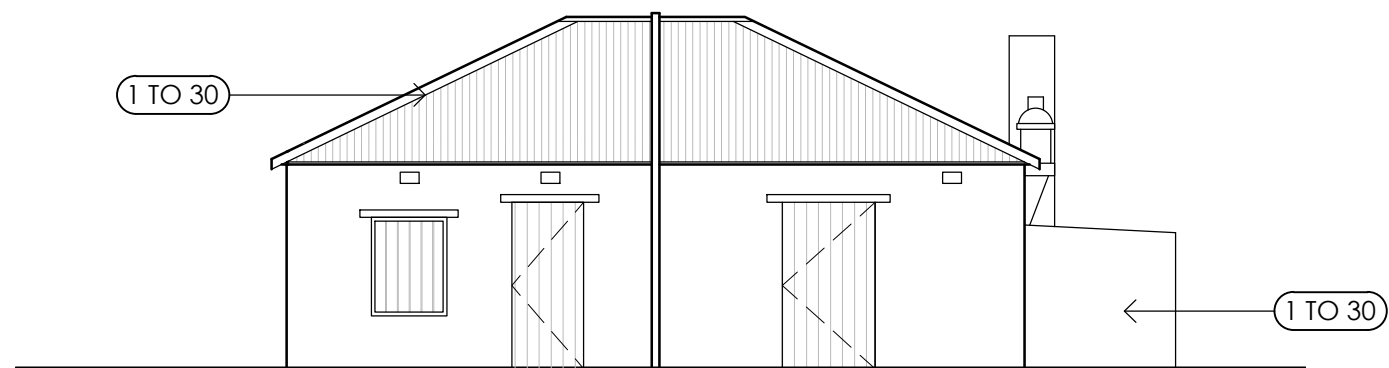




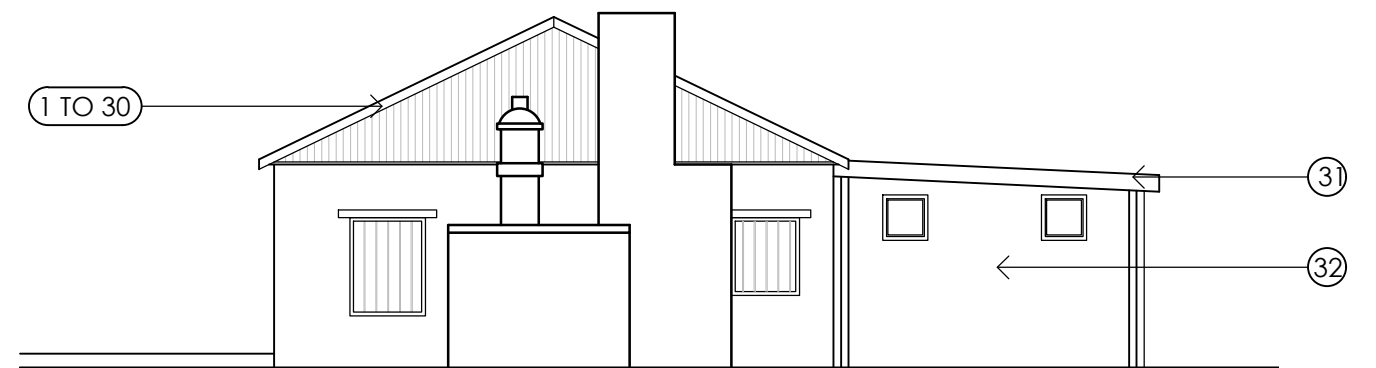
CONSERVATION WORKS AND NEW USE - PLAN

B3 1887 KITCHEN BUILDING
 SCALE 1:100 @ A3

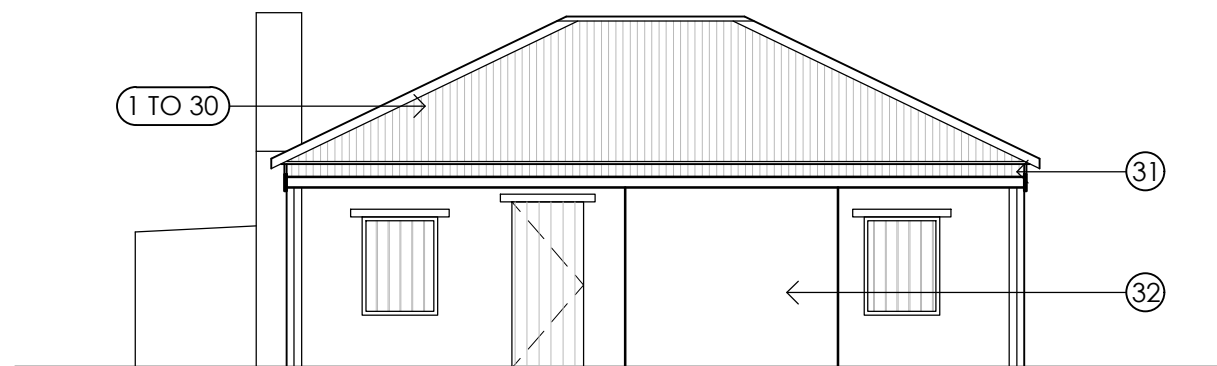




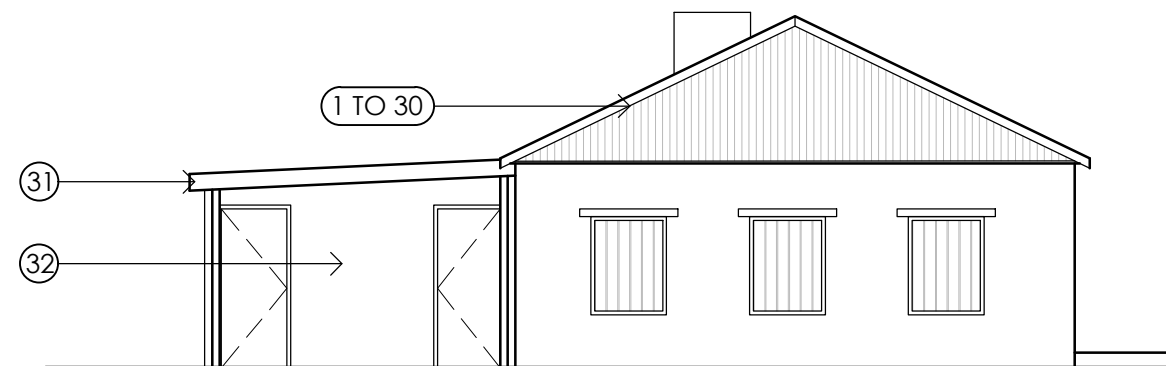
NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION

CONSERVATION WORKS AND NEW USE - ELEVATIONS

B3 1887 KITCHEN BUILDING

SCALE 1:100 @ A3

B3 1887 KITCHEN BUILDING
CONSERVATION WORK AND NEW USE

PROPOSED NEW USE:

- PART OF MUSEUM FOR ROEBOURNE HERITAGE PRECINCT
- REST / LUNCH AREA FOR VISITORS, SCHOOL GROUPS, TOUR GROUPS
- ACTIVITY / MEETING ROOM FOR VISITORS, SCHOOL GROUPS, TOUR GROUPS

LEGEND

GENERAL

UNDERTAKE ALL WORK ITEMS 1 TO 26 (REFER TO SK2.1.3), 27 TO 30 (REFER TO SK2.2.3) AND ADDITIONAL WORKS AS FOLLOWS:

PROVIDE LONG TABLE AND BENCH SEATING IN EACH ROOM. THESE ROOMS CAN BE MADE ACCESSIBLE FOR OCCASIONAL USE BY VISITORS AS LUNCH / REST STOP, MEETING POINTS FOR SCHOOL GROUPS, ETC.

- 31. OPTION FOR SKILLION ROOF AND OUTDOOR AREA, OVERLOOKING THE GAOL BUILDINGS.
- 32. 2 NOs NEW UAT TOILETS WITH VANITY, MIRROR, SHELF, PAPER TOWEL DISPENSER, SOAP DISPENSER, TOILET SUITE, PAPER HOLDER, ROBE HOOK, TILED FLOOR AND SKIRTING. MECHANICAL VENTILATION, AS REQUIRED, THROUGH ROOF.
- 33. NEW SERVICES TO KITCHEN, DAYROOM AND UATs:
 - SUSPENDED LIGHTING FIXTURES
 - POWER POINTS TO RUN THROUGH A SKIRTING DUCT UNDERNEATH THE TABLES.
 - WIRELESS INTERNET CONNECTION.



7.3. B4: 1887 Police Quarters

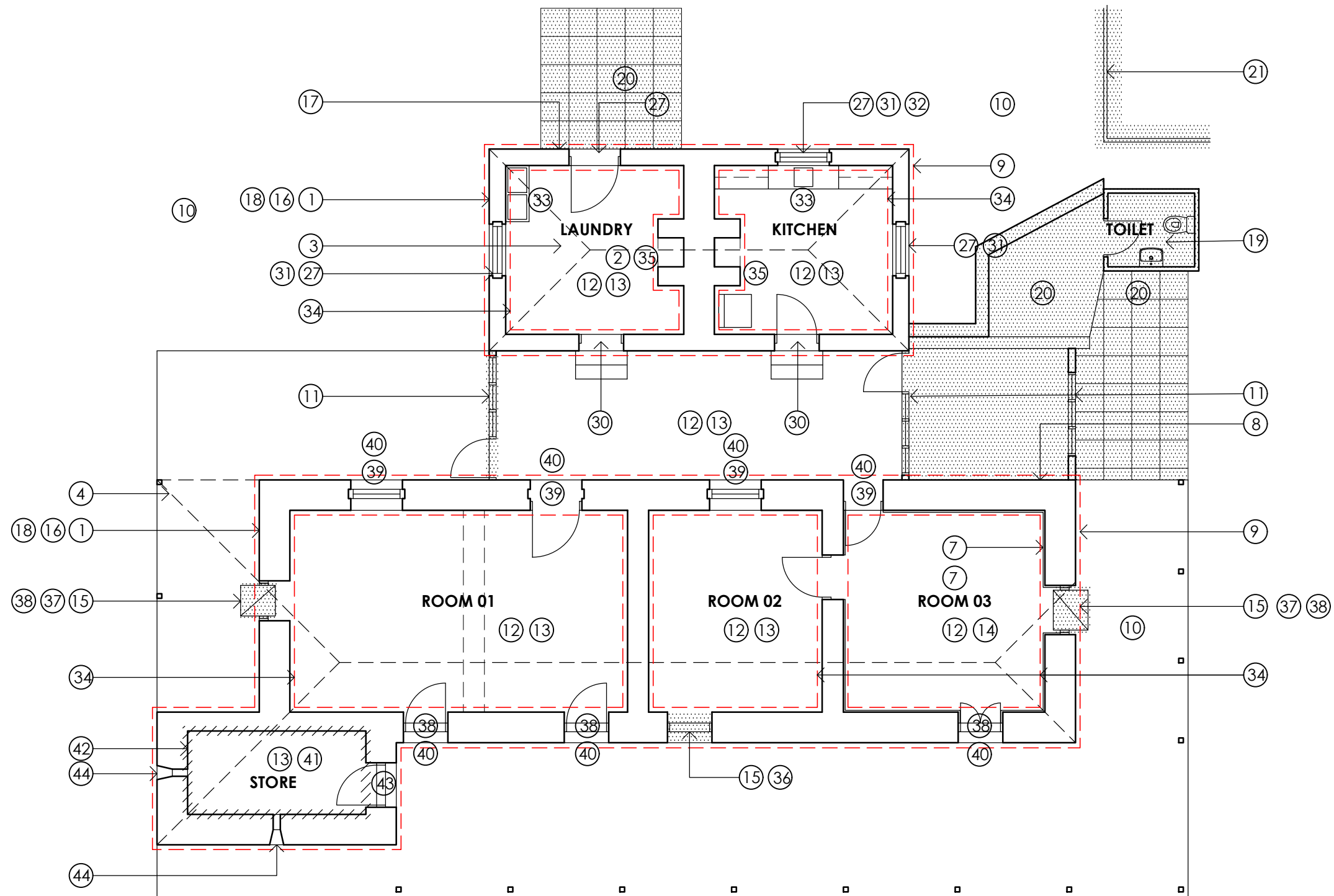
Option	Proposal	Recommendation	Timeframe for works to be carried out
Option 1	Demolition in full	Not recommended	--
Option 2	Board up and left as stabilised ruins with interpretation	Not recommended	--
Option 3	Maintenance to allow for safe access without new use apart from interpretation	Not recommended	--
Option 4	Restore to allow for occasional use but not full time occupation	Recommended	Within the next 12 months
	Immediate action required to secure existing roof, secure debris from damaging other buildings and safety hazards		As soon as possible, within the next 6 months, before cyclone season.
Option 5	Complete restoration with new use	Recommended	Within 2 years

Refer to the following drawings for 'Conservation Works'

- SK3.1.1
- SK3.1.2
- SK3.1.3
- SK3.1.4

Refer to the following drawings for 'Conservation Works' to allow for 'New Use' (Option 5)

- SK3.2.1
- SK3.2.2
- SK3.2.3
- SK3.2.4
- SK3.2.5

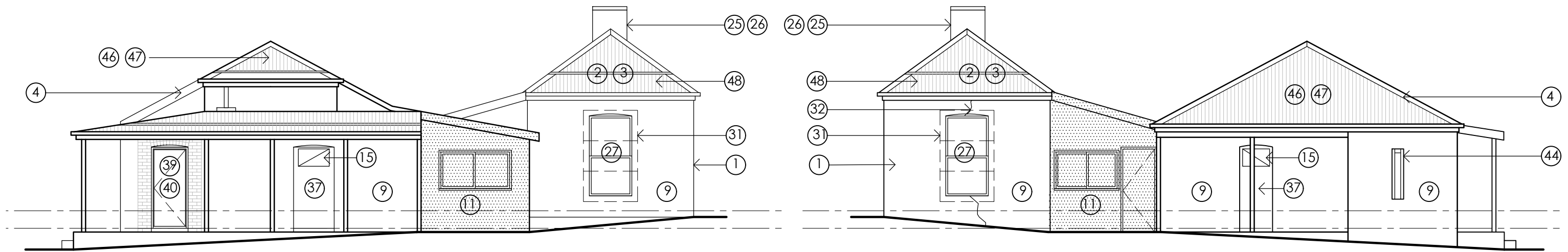


CONSERVATION WORKS - PLAN

B4 1887 POLICE QUARTERS
SCALE 1:100 @ A3

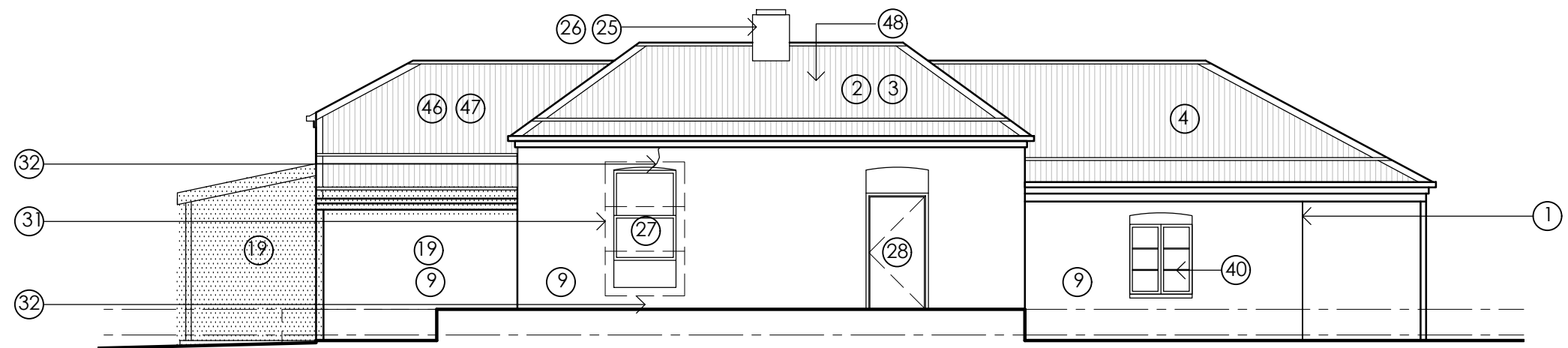


SOUTH ELEVATION



EAST ELEVATION

WEST ELEVATION



NORTH ELEVATION

CONSERVATION WORKS - ELEVATIONS

B4 1887 POLICE QUARTERS
SCALE 1:100 @ A3

B4 1887 POLICE QUARTERS
CONSERVATION WORKS

LEGEND

STRUCTURAL NOTES

- ROEBOURNE IS LOCATED IN ONE OF THE MOST SEVERE CYCLONIC WIND REGIONS IN AUSTRALIA - REGION D, TERRAIN CATEGORY 2.
- ROOF CONSTRUCTION AND RE-CONSTRUCTION MUST PAY STRONG ATTENTION TO MEMBER FIXINGS AND TIE DOWN DESIGN. THESE MUST BE IN ACCORDANCE WITH AS1684.3-2010 'RESIDENTIAL TIMBER FRAMED CONSTRUCTION, PART 3: CYCLONIC AREAS'.
- IN A RE-CONSTRUCTION SCENARIO, IT IS LIKELY THAT A NUMBER OF EXITING ROOF MEMBERS CANNOT BE RE-EMPLOYED IN THEIR PREVIOUS ROLE. EXISTING TIMBER CAN HOWEVER BE EMPLOYED WHERE SIZE AND CONDITION ALLOWS AND FOR CREATING BUILT UP SECTIONS OF LARGER SIZE.
- ROOF TO WALL TIE DOWN PROVISIONAL WILL TYPICALLY REQUIRE EXPOSED EXTERNAL PERIMETER STEEL TIE DOWN RODS LINKING TOP WALL PLATES TO WALL MASONRY AT LOW LEVEL. IN SOME CASES, EXISTING BUILT IN STEEL ROD TIE DOWN MAY BE RE- USED SUBJECT TO NATURE, CONDITION AND DEPTH. FOR THE PURPOSE OF THIS FEASIBILITY EXERCISE HOWEVER, IT IS ASSUMED THAT NONE OF THESE ARE APPROPRIATE FOR RE-USE.

GENERAL

- STABILISE AND RETAIN EXISTING BUILDINGS AND VERANDA ON THE EAST AND NORTHEAST ELEVATION OF THE MAIN BLOCK.
- REMOVE ALL DEBRIS AND MATERIAL FROM COLLAPSED ROOF ABOVE THE EXISTING KITCHEN BLOCK. SORT THROUGH AND SALVAGE SOUND TIMBER FOR REUSE IN PROJECT. RETAIN LENGTH OF ALL MEMBERS AS FAR AS PRACTICAL.
DECONSTRUCTION TO INCLUDE WALL PLATES. CAREFULLY DISCONNECT FROM ANY STEEL TIE DOWN FEATURES BUILT INTO STONework. THIS MAY INVOLVE FREEING OF RUSTING NUTS FROM RUSTING THREADED BARS. THIS MUST BE ATTEMPTED AS PRIORITY TO CUTTING WALL PLATES. DO NOT CUT ANY EMBEDDED TIE-DOWN COMPONENTS. ENGINEER TO INSPECT EXISTING TIE DOWNS FOR POSSIBLE RE-USE.
AFTER COMPLETION OF ANY STRUCTURAL WALL REPAIRS, PREPARE WALL TOP FOR RECEIVING REINSTATEMENT OF WALL PLATE.
PREPARE ALL RE-USABLE TIMBERS (ESTIMATE 25% FOR THE PURPOSE OF FEASIBILITY) AND SOURCE ADDITIONAL TIMBER STOCK, PREFERABLY RECLAIMED, AS REQUIRED TO COMPLETE THE WORKS.
- NEW HIP ROOF OVER KITCHEN BLOCK INCLUDING TIMBER FRAME ROOF STRUCTURE, TIE-DOWN ANCHORS AND STRAPS, GALVANISED CORRUGATED IRON ROOFING, GALVANISED FLASHING AND APRON FLASHING AROUND CHIMNEY.
RECONSTRUCT PERIMETER WALL PLATE. USE HALF LAP JOINTS AT CORNERS AND AS REQUIRED, FIXED WITH 4 NO GALV BUGLE BATON SCREWS.

TIE DOWN WALL PLATE TO WALL MASONRY. TYPICAL WALL PLATE TIE DOWN DETAIL - 100 X 10 GALV M.S. TWO-PART CLAMPED SADDLE AROUND WP. M16 EXTERNAL M.S. TIE DOWN ROD WITH EYELET AT BOTTOM END. M20 CHEMSET ANCHOR INTO FACE OF WHOLE STONE, 200MM EMBEDMENT. HOLES CORE DRILLED. ALL COMPONENTS GALVANISED AND PAINTED WHERE REQUIRED.

GENERAL (CONTINUED)

- ROOF RECONSTRUCTION IS A SIMPLE COUPLED HIP ROOF WITH CEILING JOISTS TYING RAFTER PAIRS. PROVISIONAL MINIMUM TIMBER SIZES (ALL SEASONED JARRAH HARDWOOD OR EQUIVALENT, MIN GRADE F14):
- WALL PLATE: 125 X 75
RIDGE BOARD: 175 X 30
COMMON RAFTERS: 150 X 40 OR 100 X 50 @ 600 C/C
- TYPICAL CONNECTIONS (ALL FIXING COMPONENTS GALV)
RAFTERS TO RIDGE: 2 X GALV STRAPS - ONE OVER TOP OF RAFTER PAIR, ONE LOOPED UNDER RIDGE.
CEILING JOISTS TO RAFTERS: 2 X M10 BOLTS
RAFTERS TO WALL PLATES AND HIPS: 2 X FRAMING ANCHORS
- REMOVE EXISTING CORRUGATED ROOFING FROM MAIN BLOCK, VERANDA AND EXTERNAL STORE. REMOVE ALL GUTTERS AND REMAINING DOWNPIPES. INSTALL NEW TIE-DOWN ANCHORS AND STRAPS TO EXISTING TIMBER ROOF STRUCTURE. (STRUCTURAL INPUT FROM ENGINEER REQUIRED). RE-ROOF THE WHOLE OF THE MAIN BLOCK WITH GALVANISED CORRUGATED IRON ROOFING, ANTICON, INSULATION AND FLASHING.
 - COLLECT SAMPLES (SIX SAMPLES FROM VARIOUS LOCATIONS) OF MORTAR MIX FROM EXISTING STONEWALLS. TEST FOR COMPOSITION AND RATIO OF EACH COMPONENT MAKING UP THE MORTAR MIX. PROVIDE SAMPLES OF REPAIR MORTAR MIX BASED ON THE TEST RESULTS
 - COLLECT SAMPLES (FIVE SAMPLES, ONE FROM EACH ROOM IN THE MAIN BLOCK, STORE AND ONE FROM THE KITCHEN) OF INTERNAL RENDER MIX FROM EXISTING WALLS. TEST FOR COMPOSITION AND RATIO OF EACH COMPONENT MAKING UP THE RENDER MIX. PROVIDE SAMPLES OF REPAIR RENDER MIX BASED ON THE TEST RESULTS
 - REMOVE ASBESTOS WALL AND CEILING LINING
 - PREPARE A SAMPLE PANEL (MINIMUM 1M²) FOR PAINT REMOVAL ON THE EXTERNAL WALL OF THE MAIN BLOCK. SOFTEN THE EXISTING PAINT LAYERS USING STEAM CLEANING TECHNIQUE. REMOVE EXISTING PAINT LAYERS USING STEAM CLEANING TECHNIQUE, 'PEELAWAY', WESTOX 'D LAM 20' OR A COMBINATION OF THESE METHODS. EXERCISE CAUTION AS THE EXISTING PAINT LAYERS MAY CONTAIN LEAD PAINT DUE TO THE AGE OF THE BUILDING. NOTIFY THE HERITAGE ARCHITECT AT THE COMPLETION OF THE SAMPLE PANEL TO REVIEW THE OUTCOME OF THE PAINT REMOVAL PROCESS PRIOR TO PROCEEDING FURTHER WITH THE PAINT REMOVAL PROCESS ON BOTH BLOCKS AND THE EXTERNAL STORE.
 - CAREFULLY REMOVE EXISTING PAINT LAYERS FROM EXTERNAL STONE WALLS AND BRICKWORK USING THE APPROVED PAINT REMOVAL METHOD.
 - REMOVE ALL DEBRIS AND VEGETATION FROM AROUND THE SITE AND ADJACENT THE BUILDINGS.
 - REMOVE TIMBER FRAMED WALLS, WINDOWS, DOORS, FLOOR COVERING AND ROOF OF THE ENCLOSED LINK WAY BETWEEN THE TWO EXISTING BLOCKS.
 - REMOVE ALL FLOOR COVERINGS IN EACH ROOM.

GENERAL (CONTINUED)

- RETAIN EXISTING CONCRETE FLOOR IN EACH ROOM
- RETAIN EXISTING TIMBER FLOOR
- REMOVE ALL AIR CONDITIONING UNITS
- RETAIN EXISTING POWER, LIGHTING, WATER SERVICES. REMOVE REDUNDANT SERVICES AS REQUIRED. CHECK TO ENSURE ALL EXISTING SERVICES ARE COMPLIANT TO CURRENT STANDARDS
- REMOVE ALL SURFACE MOUNTED EXTERNAL LIGHTING. PATCH REPAIR FIXING HOLES AND ANY PENETRATIONS THROUGH THE EXTERNAL WALLS WITH REPAIR MORTAR AND / OR SALVAGED RUBBLE TO MATCH EXISTING STONework
- REMOVE ALL REDUNDANT SERVICES FROM THE BUILDINGS
- REMOVE EXTERNAL TOILET BLOCK, ASSOCIATED COVERED LINKWAY, RETAINING WALL AND LANDSCAPING BETWEEN MAIN BLOCK AND THE TOILET BLOCK
- REMOVE ALL PAVING AND CONCRETE SLAB BETWEEN THE MAIN BLOCK AND TOILET BLOCK
- REMOVE EXISTING PERIMETER FENCING
- REMOVE VERANDA AT THE SOUTHWEST END OF THE MAIN BLOCK. CAREFULLY REMOVE RAFTERS FIXED TO THE EXISTING EXTERNAL WALL. SALVAGE EXISTING TIMBER ROOF STRUCTURE, POSTS AND BEAMS FOR REUSE IN PROJECT
- RE-POINT MISSING / ERODED MORTAR JOINTS WITH MORTAR REPAIR MIX ON THE EXTERNAL STONE WALLS AND BRICKWORK (EXTENT OF RE-POINTING TO BE ESTABLISHED ON SITE AFTER COMPLETION OF THE PAINT REMOVAL.)

GENERAL (CONTINUED)

- INSTALL GRAVEL FILLED AIR TRENCH WITH SUB-SOIL DRAINAGE (CONNECTED TO SOAKWELLS) AROUND THE PERIMETER OF EACH BLOCK. REGRADE GROUND LEVELS AROUND EACH BLOCK AWAY FROM THE BUILDINGS.
- KITCHEN BLOCK
- STABILISE AND RE-POINT BRICK CHIMNEY (CONCEALED SECTION WITHIN THE ROOF SPACE). REMOVE EXISTING PAINT FROM TOP SECTION OF THE CHIMNEY (SECTION VISIBLE ABOVE ROOF)
 - CAP OFF TOP OF CHIMNEY WITH GALVANISED FLASHING.
 - REMOVE AND REPLACE TERMITE DAMAGED TIMBER FRAMED SASH WINDOWS WITH NEW. PROVIDE NEW WINDOW HARDWARE, TIMBER SILLS AND ARCHITRAVES.
 - REMOVE AND REPLACE TERMITE DAMAGED TIMBER FRAMED SASH WINDOWS AND DOOR WITH NEW. PROVIDE NEW WINDOW HARDWARE, TIMBER SILLS AND ARCHITRAVES.



B4 1887 POLICE QUARTERS
CONSERVATION WORKS

LEGEND

MAIN BLOCK (CONTINUE)

29.
- RETAIN EXISTING TIMBER FRAMED SASH WINDOW, SILLS AND ARCHITRAVES. RUB BACK AND PREPARE TIMBER SURFACES FOR RE-PAINTING. ENSURE WINDOW IS OPERABLE.
30.
- RETAIN EXISTING TIMBER FRAMED DOOR TO KITCHEN. RUB BACK AND PREPARE TIMBER SURFACES FOR RE-PAINTING. REPLACE DOOR HARDWARE WITH NEW. RETAIN EXISTING TIMBER DOOR FRAME TO LAUNDRY. RUB BACK AND PREPARE TIMBER SURFACE FOR RE-PAINTING. PROVIDE NEW DOOR AND HARDWARE TO LAUNDRY.
31.
- REMOVE ALL EXTERNAL ALUMINIUM FRAMED WINDOW GRILLES. PATCH REPAIR FIXING HOLES.
32.
- STITCH EXISTING CRACKS ABOVE WINDOWS ON THE WEST ELEVATION USING RUBERSTEIN SPIRAL ANCHOR, HELIFIX 'HELIBAR' OR SIMILAR. 3 NOs HELIBEAM BARS INSTALLED TO INTERNAL WALL FACE. MAKE GOOD TO CRACKS TO WINDOW HEAD OVER.
33.
- REMOVE EXISTING BUILT IN CABINETRY, SINK, TROUGHS AND STOVE.
34.
- REMOVE FLAKY PAINT FROM ALL INTERNAL WALL SURFACES. RUB DOWN AND PREPARE ALL WALL SURFACES FOR NEW PAINT FINISH
35.
- CLEAN OUT FIREPLACE AND REMOVE ALL DEBRIS.

MAIN BLOCK

36.
- REMOVE IN FILL PANEL TO PREVIOUS DOOR OPENING IN THE CENTRAL ROOM. REINSTATE TIMBER FRAMED EXTERNAL DOOR.
37.
- REMOVE IN FILL PANEL TO PREVIOUS DOOR OPENING.
38.
- REINSTATE TIMBER FRAMED DOUBLE DOOR WITH MULTI PANED PANELS TO MATCH EXISTING DOOR AT ROOM 03.
39.
- RETAIN EXISTING DOORS AND WINDOWS UON. RUB BACK AND PREPARE TIMBER SURFACES FOR RE-PAINTING. ENSURE ALL WINDOWS ARE OPERABLE.
40.
- RETAIN EXISTING WINDOW HARDWARE. REMOVE AND REPLACE ALL DOOR HARDWARE WITH NEW INCLUDING LOCKS TO ALL DOORS

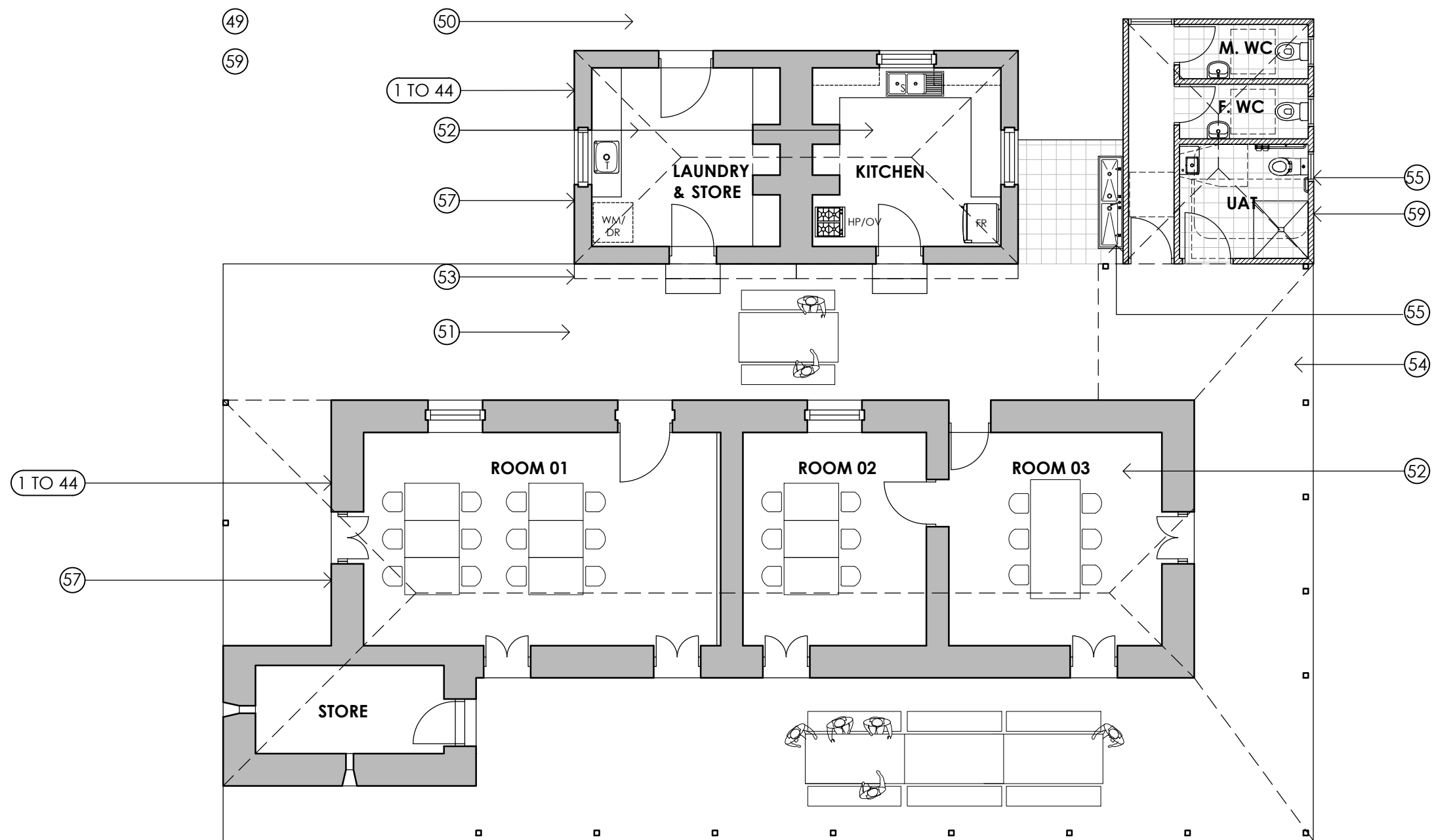
EXTERNAL STORE

41.
- RETAIN EXISTING CEILING LINING. RE-FIX LOOSE SHEETS. REPAINT CEILING LINING.
42.
- CAREFULLY REMOVE LOOSE AND DRUMMY INTERNAL RENDER. CHECK EXISTING STONEWALLS FOR CRACKS AND MISSING JOINTS. RE-POINT CRACKS AND MISSING JOINTS WITH REPAIR MORTAR MIX. REINSTATE AREAS OF REMOVED RENDER WITH REPAIR RENDER MIX.
43.
- RETAIN EXISTING TIMBER FRAMED DOOR.
44.
- RETAIN EXISTING TIMBER LINTELS AND SLOTS IN THE EXTERNAL WALL.

IMMEDIATE ACTIONS

45.
- REINSTATE MISSING POSTS AT VERANDAH AND REINFORCE EXISTING.
46.
- RE-SECURE ENTIRE MAIN BLOCK ROOF WITH CYCLONIC SCREWS AND TEMPORARY 50x50 GALVANISED ANGLE LINE. SECURE ANGLE LINE WITH COACH SCREWS SIMILAR TO GAOL BUILDING.
47.
- UNDERTAKE WORK ITEM 2 TO PREVENT DAMAGE TO SURROUNDING BUILDINGS FROM FLYING DEBRIS IN CASE OF A CYCLONE.
48.
- UNDERTAKE WORK ITEM 3.



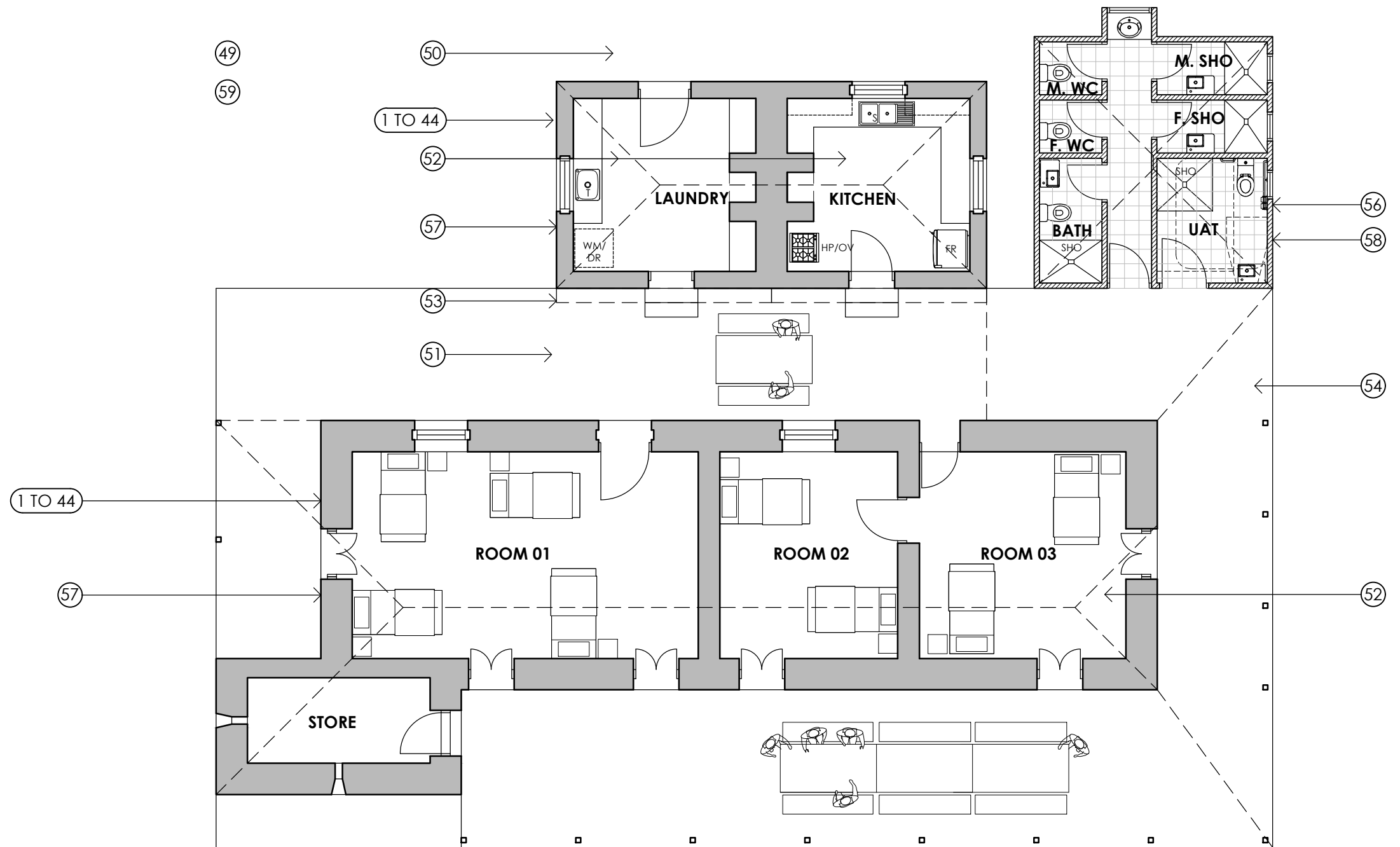


CONSERVATION WORKS AND NEW USE - PLAN

B4 1887 POLICE QUARTERS

SCALE 1:100 @ A3

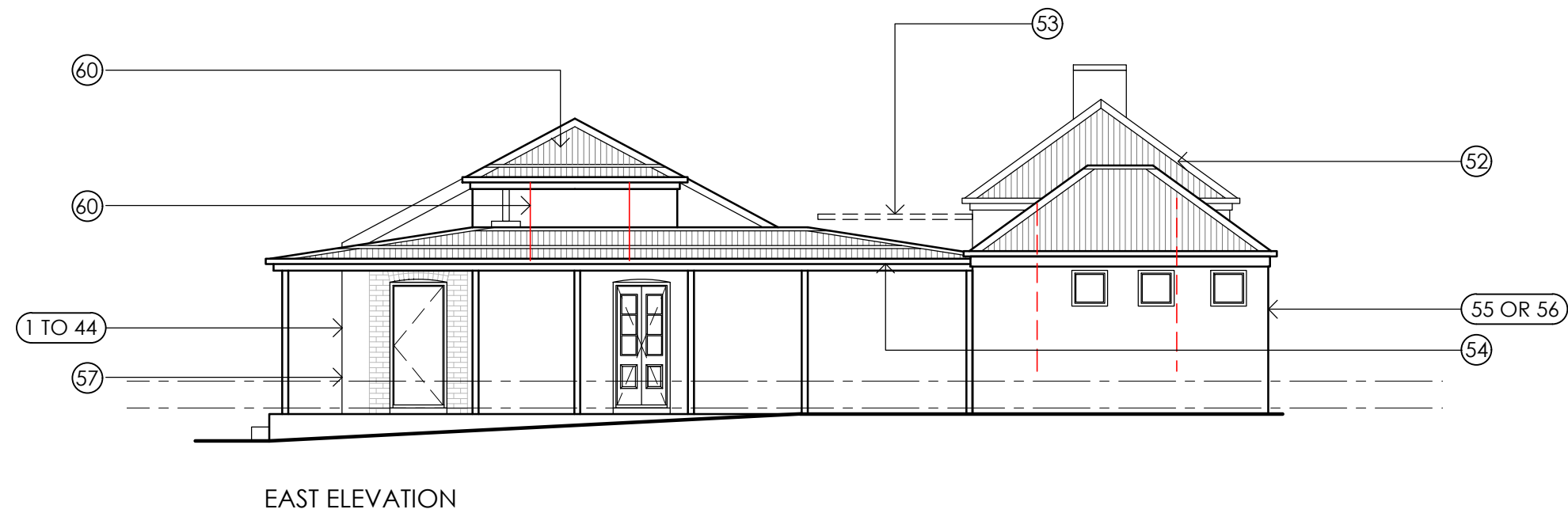
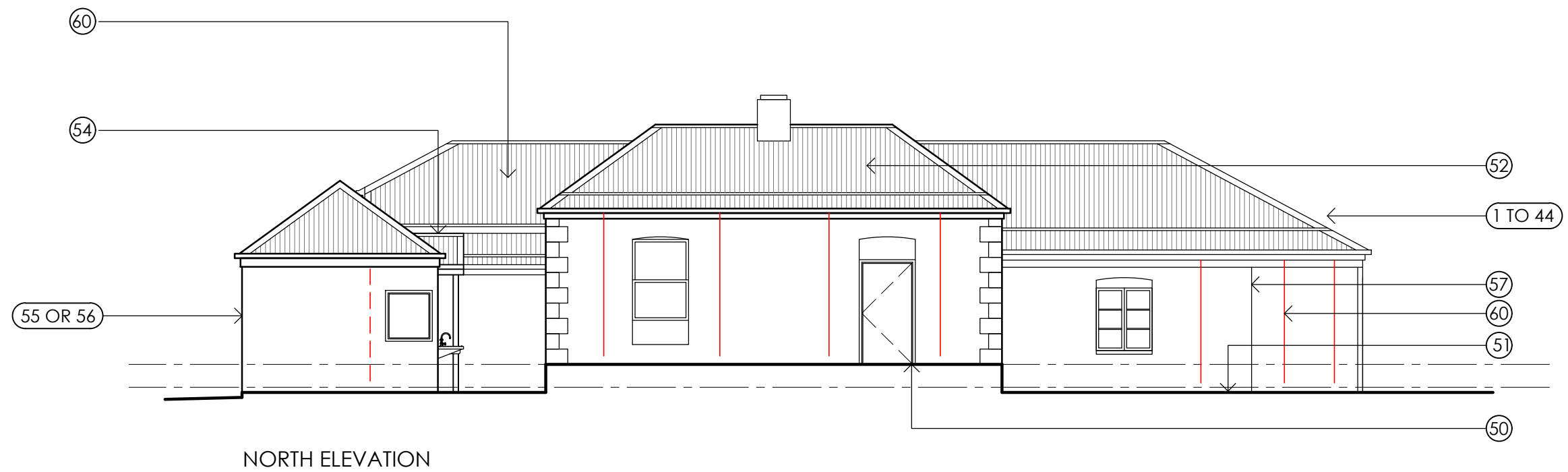




CONSERVATION WORKS AND NEW USE - PLAN

B4 1887 POLICE QUARTERS

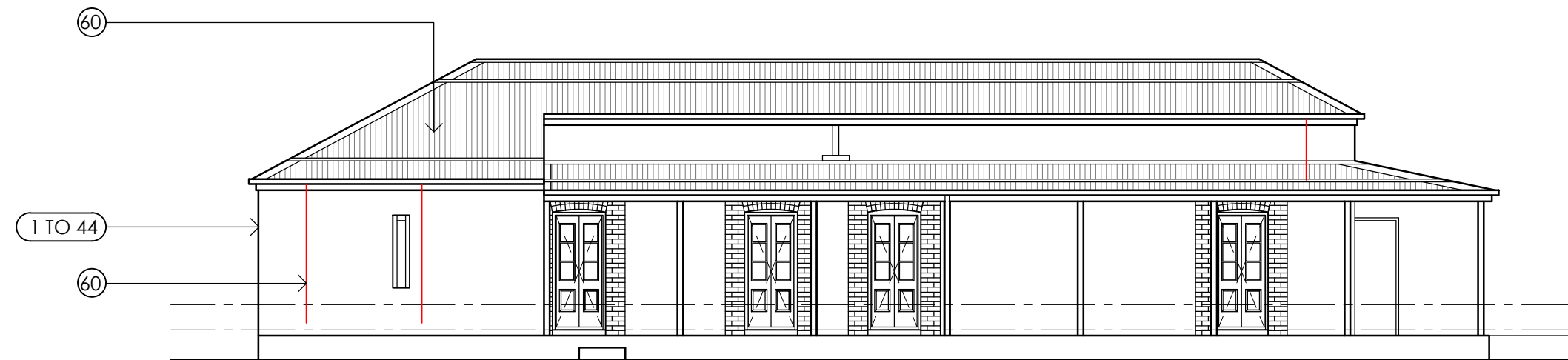
SCALE 1:100 @ A3



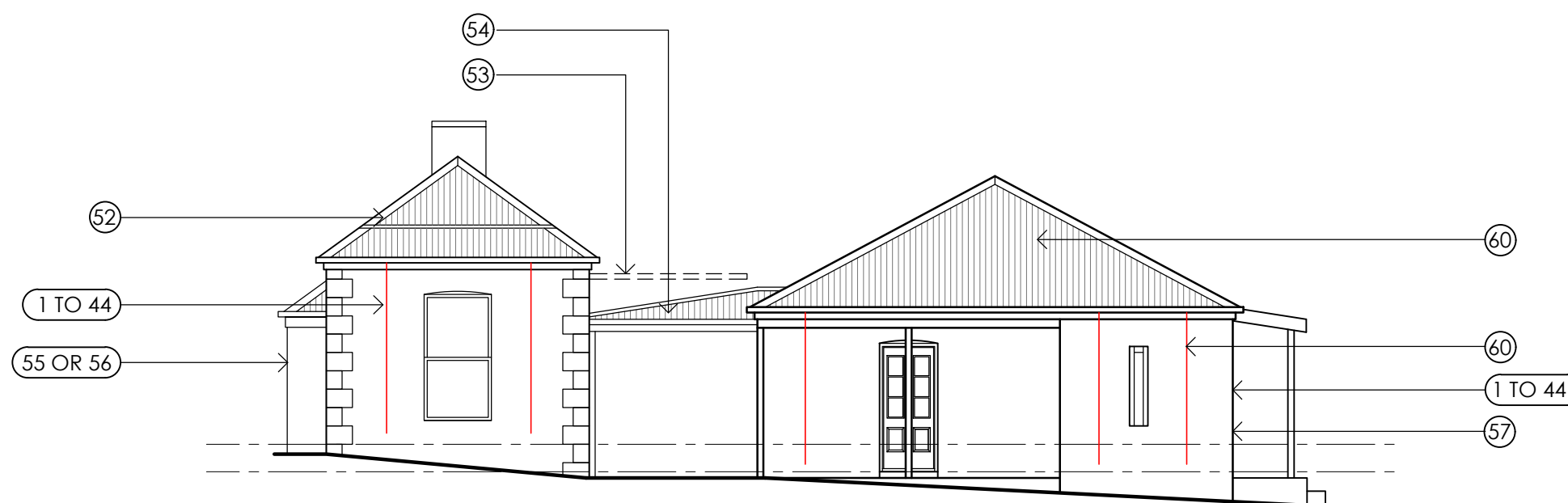
CONSERVATION WORKS AND NEW USE - ELEVATIONS

B4 1887 POLICE QUARTERS

SCALE 1:100 @ A3



SOUTH ELEVATION



WEST ELEVATION

CONSERVATION WORKS AND NEW USE - ELEVATIONS

B4 1887 POLICE QUARTERS

SCALE 1:100 @ A3

B4 1887 POLICE QUARTERS
CONSERVATION WORK AND ASSOCIATED WORK FOR NEW USE

PROPOSED NEW USE/USES:

- ART/CRAFT/LEARNING/TRAINING STUDIOS (IN EACH ROOM)
- COMMUNAL KITCHEN AND TOILET FACILITIES
- COMMUNAL LUNCH AND SITTING AREA

OR

- SHORT TERM, SELF CATERED / BACKPACKERS ACCOMMODATION (SHARED ROOMS WITH SINGLE OR QUEEN BED IN EACH ROOM)
- COMMUNAL KITCHEN
- COMMUNAL TOILET AND SHOWER FACILITIES
- COMMUNAL LUNCH AND SITTING AREA

LEGEND

GENERAL

UNDERTAKE ALL WORK ITEMS 1 TO 48 (REFER TO SK 3.1.3 AND SK 3.1.4) AND ADDITIONAL WORKS AS FOLLOWS:

49. RETAIN EXISTING STONE STEPS FROM CAR PARK.
50. PROVIDE FOOTPATH (WELL DRAINED COMPACTED GROUND) FROM THE BASE OF THE STONE STEPS TO THE KITCHEN BLOCK (AT GRADE ACCESSIBLE ENTRY)
51. PROVIDE FOOTPATH (WELL DRAINED COMPACTED GROUND) FROM THE BASE OF THE STONE STEPS TO THE BUILDINGS
52. PROVIDE CEILING INSULATION TO BOTH KITCHEN BLOCK AND MAIN BLOCK.
53. NEW RETRACTABLE AWNING BETWEEN KITCHEN BLOCK AND MAIN BLOCK TO PROVIDE SHADE. THE AREA BETWEEN THE TWO BLOCKS CAN BE USED AS COMMUNAL DINING AND SEATING AREA.
54. EXTEND EXISTING VERANDA TO PROVIDE COVERED PATH TO THE NEW TOILET BLOCK
55. NEW TOILET BLOCK ASSOCIATED WITH ART / CRAFT / LEARNING / TRAINING STUDIOS - UNISEX UNIVERSAL ACCESSIBLE TOILET (UAT) WITH SHOWER AND TWO SEPARATE TOILETS (MALE AND FEMALE) WITH HAND BASIN IN EACH TOILET, EXTERNAL STAINLESS STEEL SINK / TROUGH SUITABLE FOR USE WITH ART / CRAFT ACTIVITIES. INTERNAL FINISH INCLUDE TILED SKIRTING AND TILED FLOOR THROUGHOUT, TILED WALLS (1800MM HIGH) TO SHOWER AREA, PLASTER AND PAINTED WALLS THROUGHOUT, PLASTERBOARD CEILINGS THROUGHOUT, TIMBER FRAMED PAINTED DOORS AND WINDOWS. NEW DOOR AND WINDOW HARDWARE AND SIGNAGE FOR EACH TOILET. MECHANICAL VENTILATION AS REQUIRED THROUGH ROOF.

56. NEW TOILET BLOCK ASSOCIATED WITH SHORT TERM ACCOMMODATION - UNISEX UNIVERSAL ACCESSIBLE TOILET (UAT) WITH SHOWER, A COMBINED TOILET WITH SHOWER AND HAND BASIN, TWO SEPARATE TOILETS (MALE AND FEMALE), TWO SEPARATE SHOWERS WITH SINK IN EACH SHOWER. INTERNAL FINISH INCLUDE TILED SKIRTING AND TILED FLOOR THROUGHOUT, TILED WALLS (1800MM HIGH) TO SHOWERS, PLASTER AND PAINTED WALLS THROUGHOUT, PLASTERBOARD CEILINGS THROUGHOUT, TIMBER FRAMED PAINTED DOORS AND WINDOWS. NEW DOOR AND WINDOW HARDWARE AND SIGNAGE FOR EACH TOILET. MECHANICAL VENTILATION, AS REQUIRED, THROUGH ROOF.
57. CHECK TO ENSURE ALL EXISTING SERVICES ARE CAPABLE OF SUPPORTING NEW USE / USES. UPGRADE IF REQUIRED.
58. EXTEND POWER AND PLUMBING SERVICES TO NEW TOILET. PROVIDE ONE CEILING MOUNTED LIGHT FITTING IN EACH TOILET AND IN CORRIDOR
59. RECONFIGURE EXISTING TERRAIN / SLOPE TO CREATE A DROP OFF AREA FOR VEHICLE FROM CAR PARK.
60. ROOF COVERING REPLACEMENT OVER MAIN BUILDING
REMOVAL OF EXISTING SHEETING TO HIGH LEVEL ROOF IS EXPECTED TO REVEAL A TRUNCATED TRUSSED ROOF CONSTRUCTION OVER THE SHADED AREA AND UNCOUPLED HIP CONSTRUCTION AT EACH END. LOWER LEVEL VERANDAH ROOFS ARE SIMPLE SKILLIONS. THERE IS A REASON TO EXPECT WALL PLATE TIE DOWN TO WALLS TO BE IN PLACE AND OPERATING ADEQUATELY IN THE HIGH LEVEL ROOF. NEED FOR TIE DOWN ENHANCEMENT AT ENDS TO BE EXPECTED HOWEVER.
CONNECTIONS OF ALL ROOF BATTENS / PURLINS TO ALL ROOF AREAS TO BE ENHANCED WITH NEW STEEL STRAP OVER TIE DOWNS. ALL COMMON RAFTERS TO RECEIVE NEW STRAP OVER TIE DOWNS TO WALL PLATES AND VERANDAH BEAMS, 2 X FRAMING ANCHORS AT HIPS. HIP CONNECTIONS TO WALL PLATES AND TRUSSED TO BE ENHANCED WITH 5mm STEEL CLEATS WITH BUGLE BATTEN SCREWS, ALL GALVANISED.
ESTIMATED VERANDAH MEMBER REPLACEMENT WORK 15%, INCLUDING HIGH LEVEL VERANDAH ON WEST SIDE.

7.4. B5: Smaller 1896 Cell Block

Option	Proposal	Recommendation	Timeframe for works to be carried out
Option 1	Demolition in full	Not recommended	--
Option 2	Board up and left as stabilised ruins with interpretation	Not recommended	--
Option 3	Maintenance to allow for safe access without new use apart from interpretation	Not recommended	--
Option 4	Restore to allow for occasional use but not full time occupation	Recommended	Within 1 - 2 years, works can be phased, allowing rooms to be occupied temporarily
Option 5	Complete restoration with new use	Recommended	Within 2 - 3 years

Refer to the following drawings for 'Conservation Works'

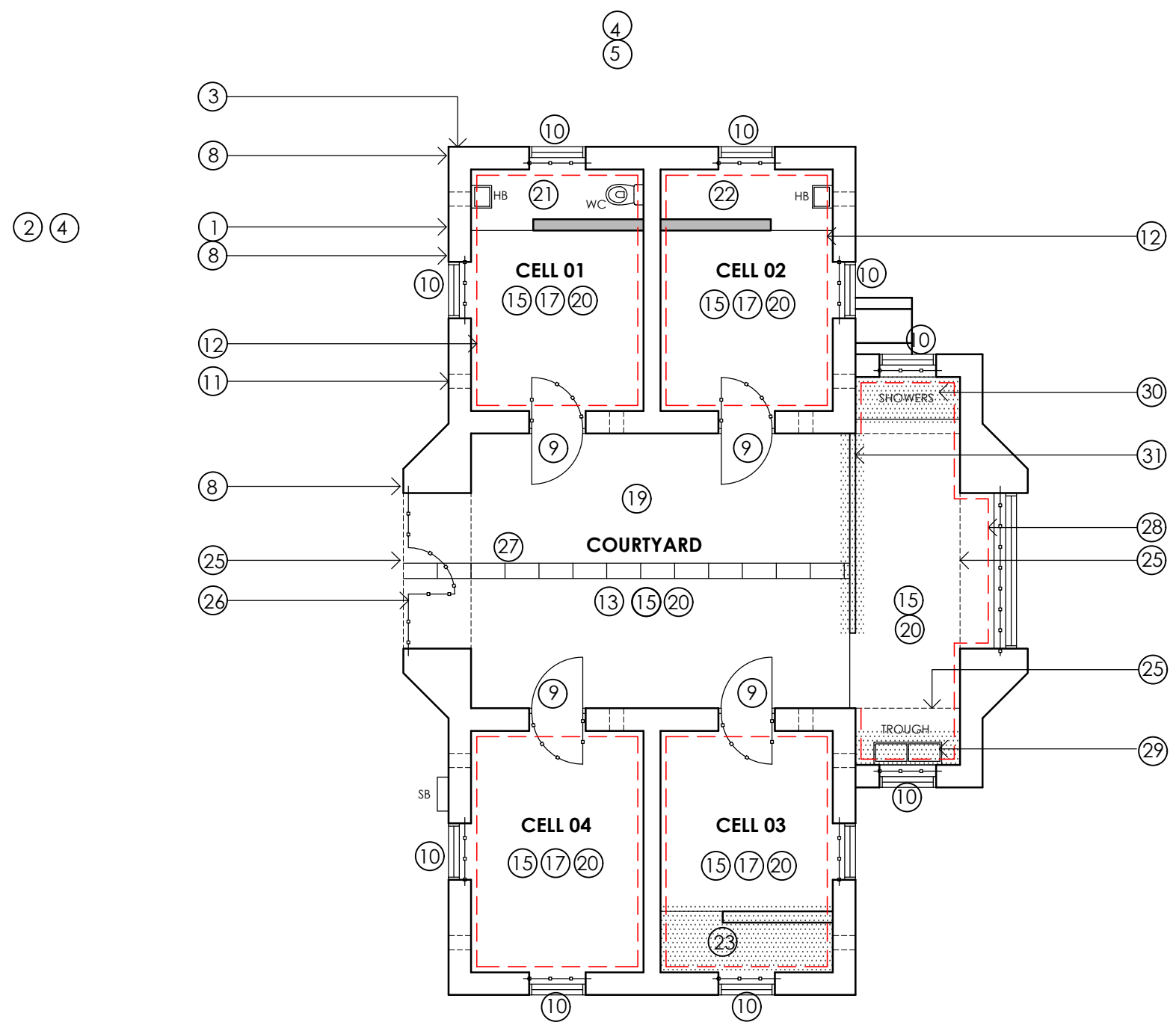
- SK4.1.1
- SK4.1.2
- SK4.1.3

Refer to the following drawings for 'Conservation Works' to allow for 'Occasional Use' (Option 4)

- SK4.2.1
- SK4.2.2

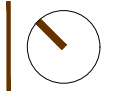
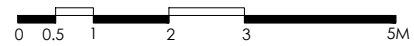
Refer to the following drawings for 'Conservation Works' to allow for 'New Use' (Option 5)

- SK4.3.1
- SK4.3.2



CONSERVATION WORKS - PLAN

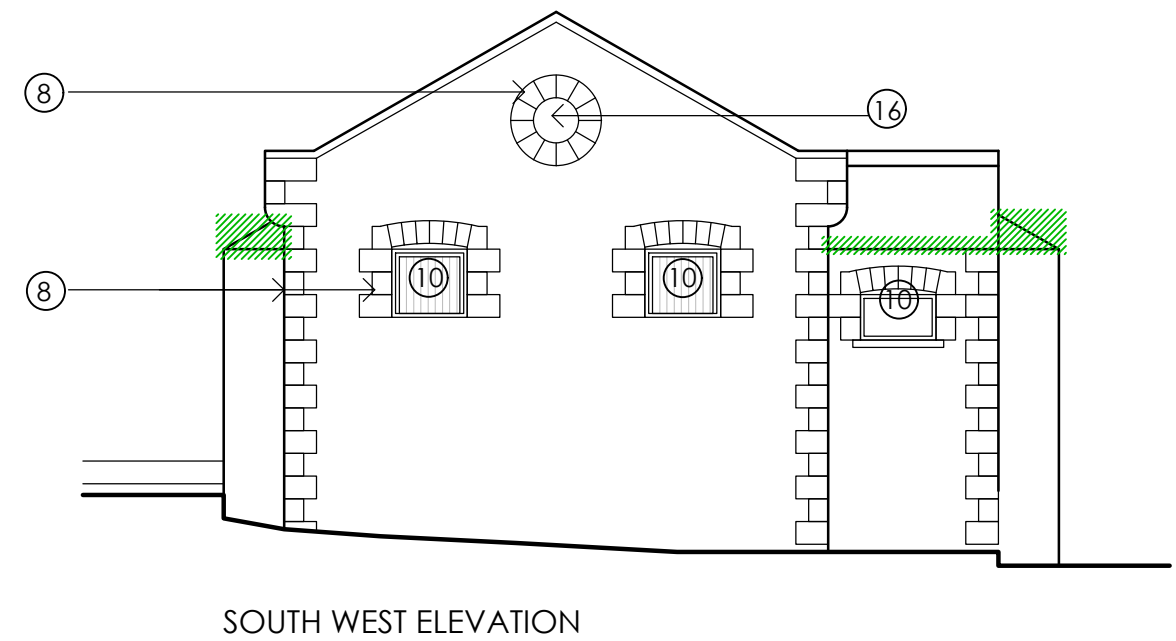
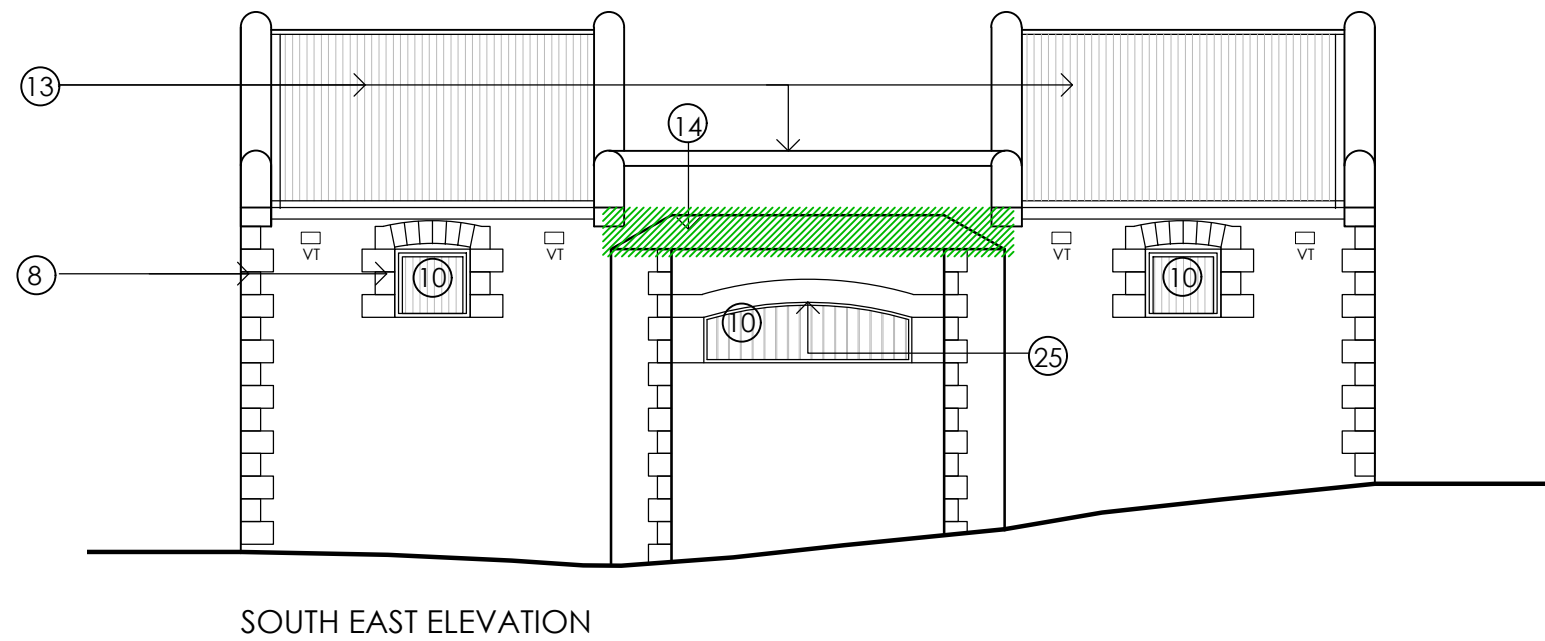
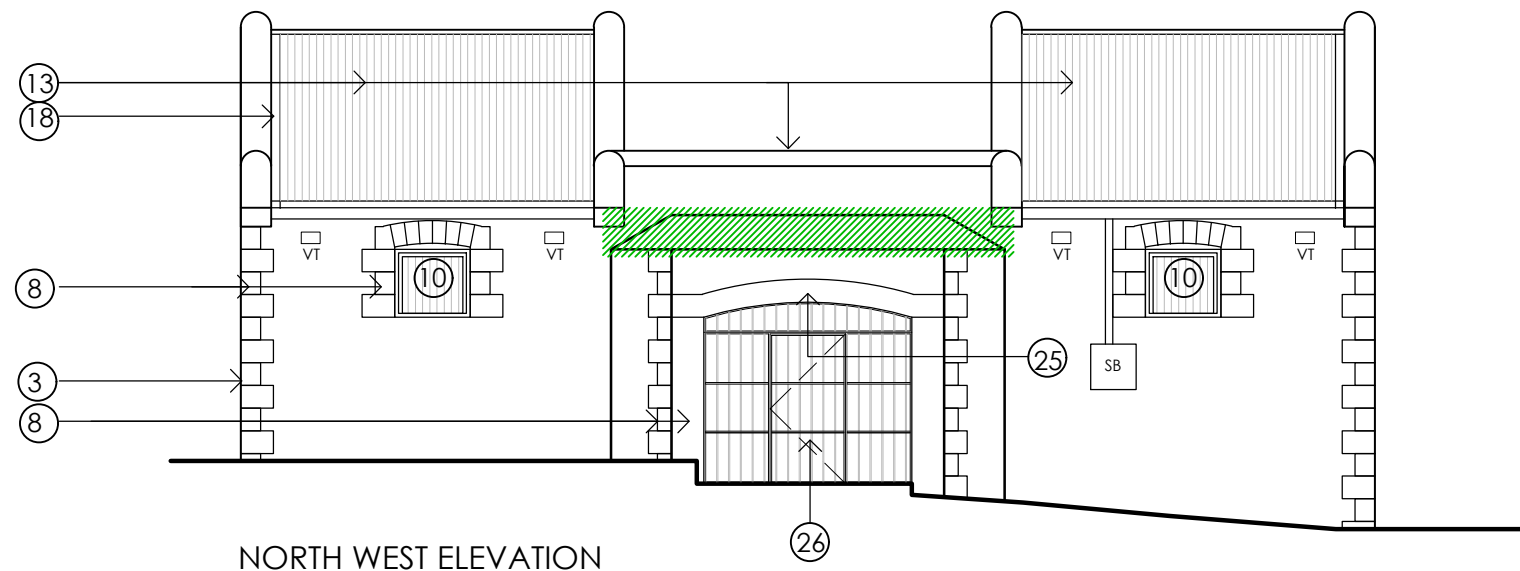
B5 SMALLER 1896 CELL BLOCK
 SCALE 1:100 @ A3



DRAWING: SK4.1.1
 REVISION : 8
 DATE : 30.06.17



A 156 Onslow Road, Shenton Park Western Australia 6008
 P PO Box 7041, Shenton Park Western Australia 6008
 T +61 8 9388 2810
 F +61 8 9388 2817
 W www.hockingheritagestudio.com.au



CONSERVATION WORKS - ELEVATIONS

B5 SMALLER 1896 CELL BLOCK
SCALE 1:100 @ A3

B5 SMALLER 1896 CELL BLOCK
CONSERVATION WORKS

LEGEND

GENERAL

1. RETAIN EXISTING BUILDING, CELLS AND COURTYARD
2. REMOVE ALL MACHINERY DISPLAYS FROM THE SITE AND RELOCATE TO NEW LOCATION
3. REMOVE WALL MOUNTED RETRACTABLE WATER HOSE AND MAKE GOOD / PATCH FIXING HOLES WITH REPAIR MORTAR MIX
4. REMOVE ALL LOW SHRUBS, FLOWERING PLANT, GRASS AROUND THE SITE
5. RETAIN EXISTING MATURE TREES
6. COLLECT SAMPLES (THREE SAMPLES FROM VARIOUS LOCATIONS) OF MORTAR MIX FROM EXISTING STONEWALLS. TEST FOR COMPOSITION AND RATIO OF EACH COMPONENT MAKING UP THE MORTAR MIX. PROVIDE SAMPLES OF REPAIR MORTAR MIX BASED ON THE TEST RESULTS
7. COLLECT SAMPLES (FIVE SAMPLES, ONE FROM EACH CELL AND ONE FROM STONE ROOF ABOVE FORMER ABLUTION) OF INTERNAL RENDER MIX FROM EXISTING WALLS. TEST FOR COMPOSITION AND RATIO OF EACH COMPONENT MAKING UP THE RENDER MIX. PROVIDE SAMPLES OF REPAIR RENDER MIX BASED ON THE TEST RESULTS
8. REMOVE PAINT FINISH FROM ALL PAINTED QUOINS AND LINTELS USING APPROVED PAINT REMOVAL METHOD.
9. RETAIN AND CONSERVE ALL TIMBER LEDGE AND BRACE DOORS, IRON GRILLES AND IRON DOOR HARDWARE. RETAIN AND CONSERVE FANLIGHT AND IRON GRILLES. RUB BACK AND PREPARE TIMBER SURFACES FOR PROTECTIVE COATING. RUB BACK AND REMOVE PAINT FINISH FROM IRON GRILLES AND HARDWARE. PREPARE IRON SURFACES FOR ANTI-RUST TREATMENT. COAT ALL IRON SURFACES WITH 'PENETROL'.
10. RETAIN AND CONSERVE ALL TIMBER STORM SHUTTERS AND IRON GRILLES ON ALL WINDOW OPENINGS. RUB BACK AND PREPARE TIMBER SURFACES FOR PROTECTIVE COATING. RUB BACK AND PREPARE IRON SURFACES FOR ANTI-RUST TREATMENT. COAT ALL IRON SURFACES WITH 'PENETROL'.
11. RETAIN ALL CAST IRON WALL VENTS.
12. RUB BACK AND REMOVE FLAKY PAINT FROM INTERNAL WALL SURFACES IN ALL CELLS. PREPARE ALL WALL SURFACES FOR LIME WASH.
13. RETAIN AND CONSERVE EXISTING TIMBER ROOF STRUCTURE AND CORRUGATED IRON ROOFING. REPLACE EXISTING AND MISSING GUTTERS AND DOWNPIPES. CONNECT NEW DOWNPIPES TO SOAKWELLS.
14. RETAIN AND CONSERVE FLAT STONE AND RENDERED ROOF COVER. RE-RENDER STONE ROOFS WITH APPROVED RENDER MIX.
15. RETAIN AND CONSERVE CORRUGATED IRON CEILING LINING IN ALL CELLS. RUB BACK AND PREPARE SURFACES FOR NEW PAINT FINISH.
16. RETAIN AND CONSERVE FIXED TIMBER LOUVERS TO HIGH LEVEL CIRCULAR WINDOWS. APPLY TIMBER PROTECTIVE COATING ON TIMBER SURFACES. INSTALL POWDER COATED STAINLESS STEEL MESH TO THE INTERNAL FACE OF THE LOUVERS.

GENERAL (CONTINUE)

17. RETAIN CONCRETE SLAB IN ALL CELLS AND COURTYARD.
18. REPLACE DAMAGED PARAPET AND COUNTER FLASHING.
19. REMOVE ALL DEBRIS AND LOOSE FURNITURE FROM CELLS AND COURTYARD.
20. RETAIN ALL EXISTING SERVICES TO CELLS AND COURTYARD

CELL 01

21. RETAIN INTERNAL RENDERED WALLS AND SLAB (1970S TOILET ADDITION). RETAIN EXISTING TOILET SUITE AND SINK.

CELL 02

22. RETAIN INTERNAL RENDERED WALLS AND SLAB (1970S TOILET ADDITION). RETAIN EXISTING SINK.

CELL 03

23. CAREFULLY REMOVE INTERNAL RENDERED WALLS AND SLAB (1970S TOILET ADDITION). PATCH REPAIR INTERFACE BETWEEN INTERNAL WALL AND STONEWALLS WITH REPAIR MORTAR AND SALVAGE RUBBLE IF REQUIRED.

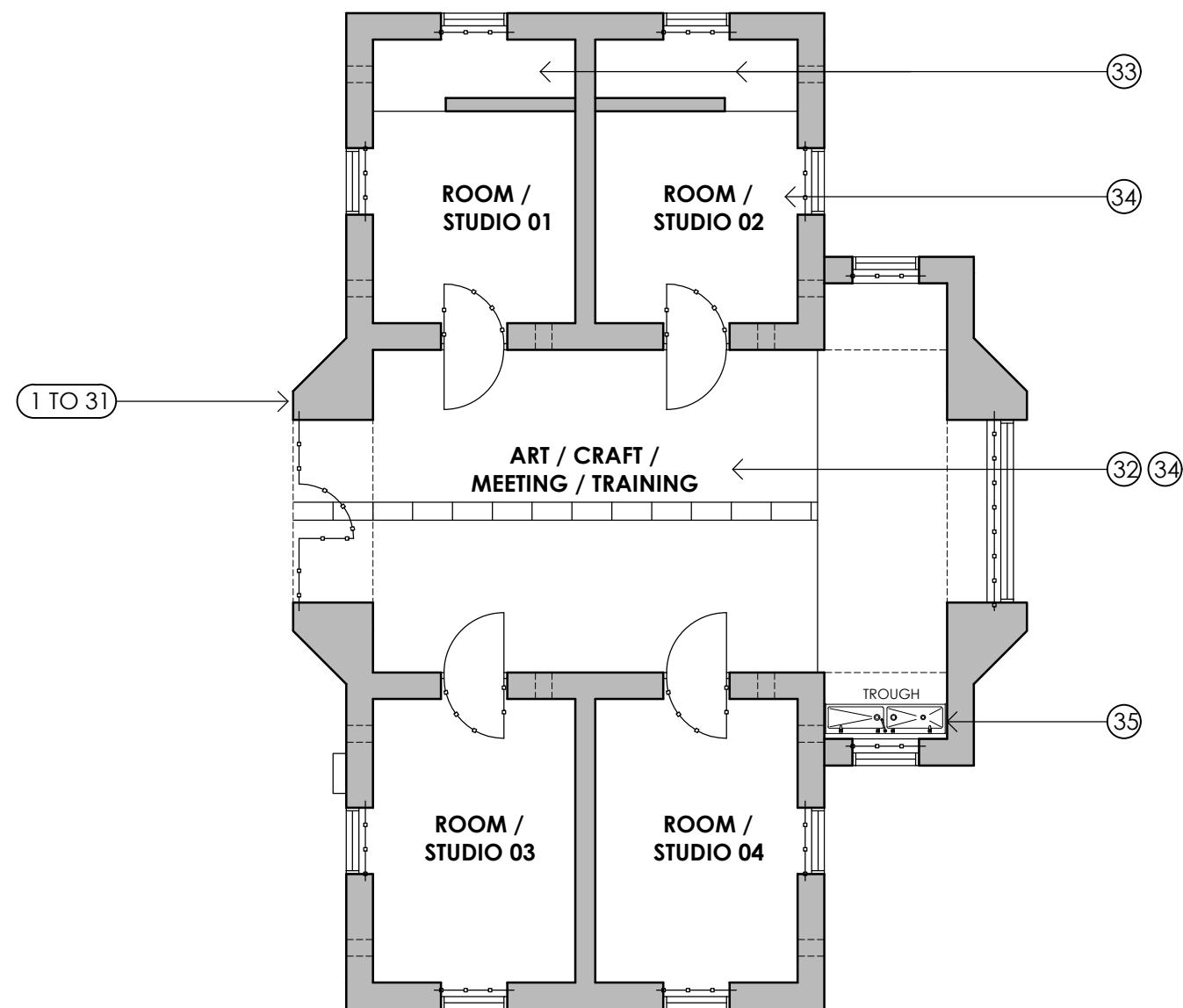
CELL 04

24. CAREFULLY REMOVE INTERNAL RENDERED WALLS AND SLAB (1970S TOILET ADDITION). PATCH REPAIR INTERFACE BETWEEN INTERNAL WALL AND STONEWALLS WITH REPAIR MORTAR AND SALVAGE RUBBLE IF REQUIRED.

ENCLOSED COURTYARD

25. RE-POINT CRACK AT THE APEX OF ARCHED OPENING ABOVE ENTRANCE AND OTHER LOCATIONS INDICATED. STRUCTURAL INPUT REQUIRED FROM ENGINEER.
26. RETAIN AND CONSERVE IRON GRILLES AND GATE. RUB BACK AND REMOVE PAINT FINISH FROM IRON GRILLES AND HARDWARE. PREPARE IRON SURFACES FOR ANTI-RUST TREATMENT. COAT ALL IRON SURFACES WITH 'PENETROL'.
27. RETAIN TRACES OF DRAINAGE TRENCH AND CONCRETE SLAB.
28. REMOVE PAINT FROM ALL PAINTED SURFACES USING APPROVED PAINT REMOVAL METHOD.
29. REMOVE STAINLESS STEEL TROUGH AND ASSOCIATED PLUMBING AND FITTINGS.
30. REMOVE PLUMBING AND FITTINGS TO SHOWER AREA.
31. REMOVE TIMBER PARTITION.





CONSERVATION WORKS AND OCCASIONAL USE - PLAN

B5 SMALLER 1896 CELL BLOCK
 SCALE 1:100 @ A3

B5 SMALLER 1896 CELL BLOCK
CONSERVATION WORK AND ASSOCIATED WORK FOR OCCASIONAL USE

PROPOSED OCCASIONAL USE/USES:

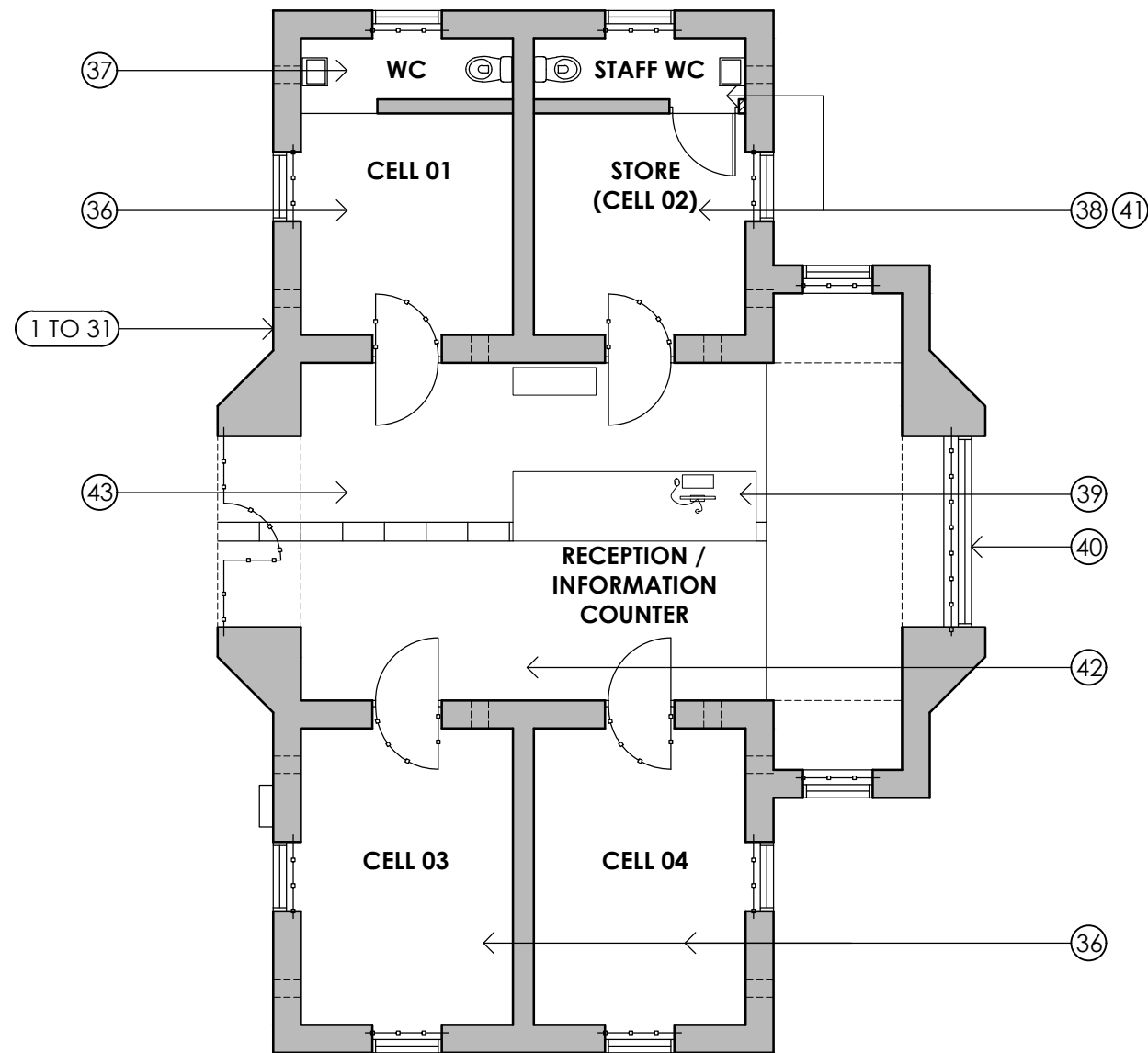
- ART/CRAFT/LEARNING/TRAINING STUDIOS (IN EACH CELL AND COURTYARD)
- WASHING UP FACILITY

LEGEND

GENERAL

UNDERTAKE ALL WORK ITEMS 1 TO 31 (REFER TO SK 4.1.3) AND ADDITIONAL WORKS AS FOLLOWS:

32. RETAIN EXISTING SERVICES, POWER AND WATER SUPPLY
33. REMOVE EXISTING TOILET SUITE AND HAND BASINS. CAP OFF PLUMBING FOR FUTURE USE.
34. RETAIN EXISTING CELLS AND ENCLOSED COURTYARD FOR USE AS STUDIO SPACES
35. NEW FREESTANDING STAINLESS STEEL TROUGH WITH STAINLESS STEEL SPLASHBACK SUITABLE FOR USE WITH ART / CRAFT ACTIVITIES



CONSERVATION WORKS AND NEW USE - PLAN

B5 SMALLER 1896 CELL BLOCK
SCALE 1:100 @ A3



B5 SMALLER 1896 CELL BLOCK
CONSERVATION WORK AND ASSOCIATED WORK FOR NEW USE

PROPOSED NEW USE/USES:

- TOURIST INFORMATION CENTRE
- STAFF TOILET
- STORE
- PART OF MUSEUM OLD GAOL INTERPRETATION

LEGEND

GENERAL

UNDERTAKE ALL WORK ITEMS 1 TO 31 (REFER TO SK 4.1.3) AND ADDITIONAL WORKS AS FOLLOWS:

- 36. RETAIN CELLS FOR USE AS PART OF MUSEUM DISPLAY AND INTERPRETATION
- 37. RETAIN AN EXAMPLE OF 1970S TOILET ADDITION IN CELL 01
- 38. ADAPT CELL 02 FOR STORAGE AND STAFF TOILET. PROVIDE NEW TOILET SUITE, HAND BASIN, PAPER HOLDER AND PAPER TOWEL DISPENSER. REINSTATE PLUMBING SERVICES TO TOILET. INSTALL TIMBER FRAMED DOOR TO EXISTING TOILET ENCLOSURE.
- 39. NEW FREESTANDING RECEPTION / INFORMATION COUNTER.
- 40. REMOVE AND REPLACE EXISTING ROOF AND FLASHING WITH GALVANISED CORRUGATED IRON ROOF, GALVANISED ROOF FLASHING AND ANTI-CON THROUGH OUT.
- 41. PROVIDE CEILING INSULATION IN ROOF / CEILING SPACE INSIDE CELL 02. RETAIN EXISTING CEILING LINING.
- 42. RETAIN EXISTING EXPOSED TIMBER BEAMS, RAFTERS AND BATTENS ABOVE ENCLOSED COURTYARD. PROVIDE CEILING INSULATION AND GALVANISED CORRUGATED IRON CEILING LINING ABOVE EXPOSED TIMBER STRUCTURES.
- 43. RETAIN EXISTING SERVICES TO BUILDING. CHECK TO ENSURE ALL EXISTING SERVICES ARE CAPABLE OF SUPPORTING NEW USE. UPGRADE IF REQUIRED. PROVIDE PHONE AND WIRELESS INTERNET CONNECTION TO BUILDING.



7.5. B6: the Larger 1896 Cell Block

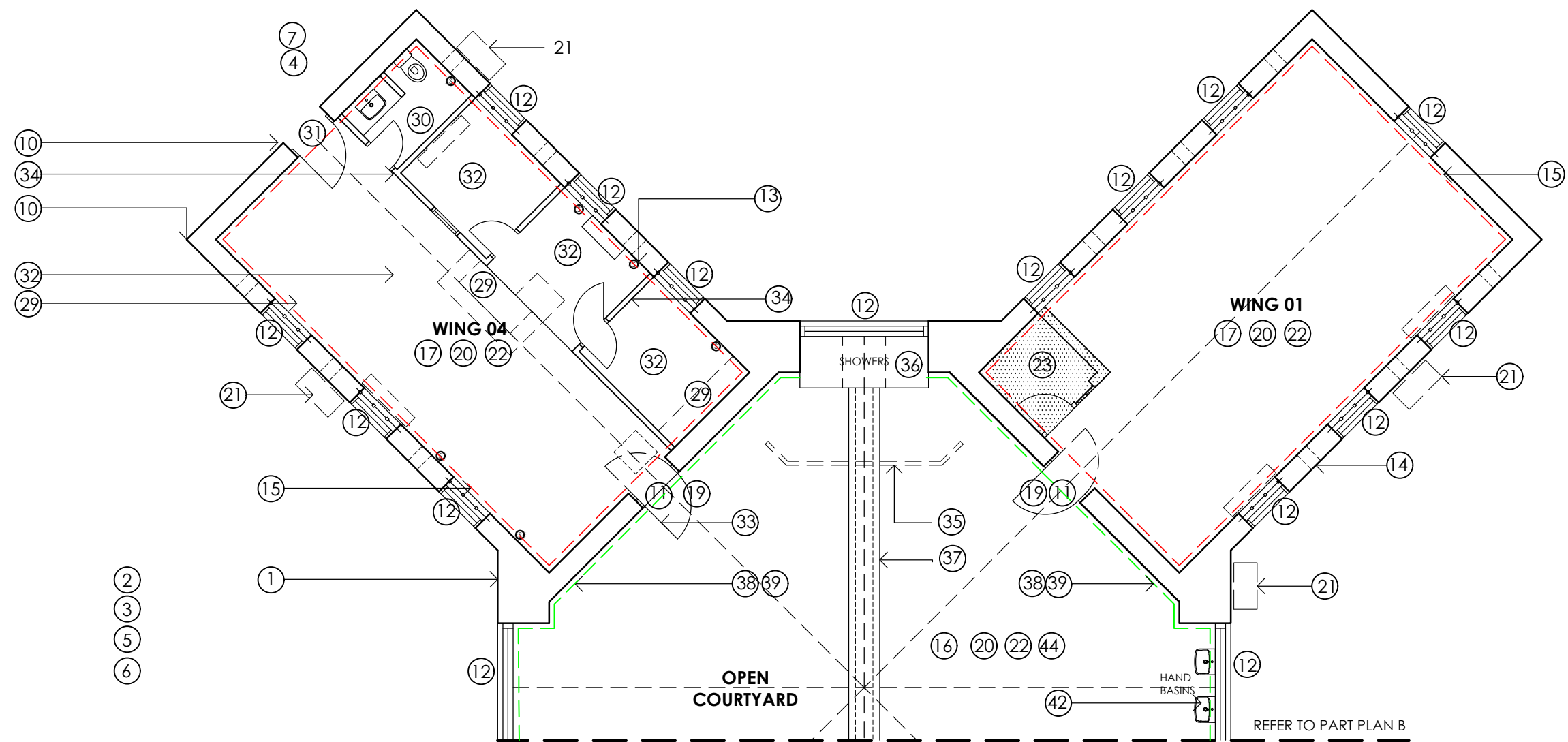
Option	Proposal	Recommendation	Timeframe for works to be carried out
Option 1	Demolition in full	Not recommended	--
Option 2	Board up and left as stabilised ruins with interpretation	Not recommended	--
Option 3	Maintenance to allow for safe access without new use apart from interpretation	Not recommended	--
Option 4	Restore to allow for occasional use but not full time occupation	Recommended but not essential	--
Option 5	Complete restoration with new use	Recommended	Within 1 - 2 years, works can be phased, allowing rooms to be occupied temporarily

Refer to the following drawings for 'Conservation Works'

- SK5.1.1
- SK5.1.2
- SK5.1.3
- SK5.1.4
- SK5.1.5

Refer to the following drawings for 'Conservation Works' to allow for 'New Use' (Option 5)

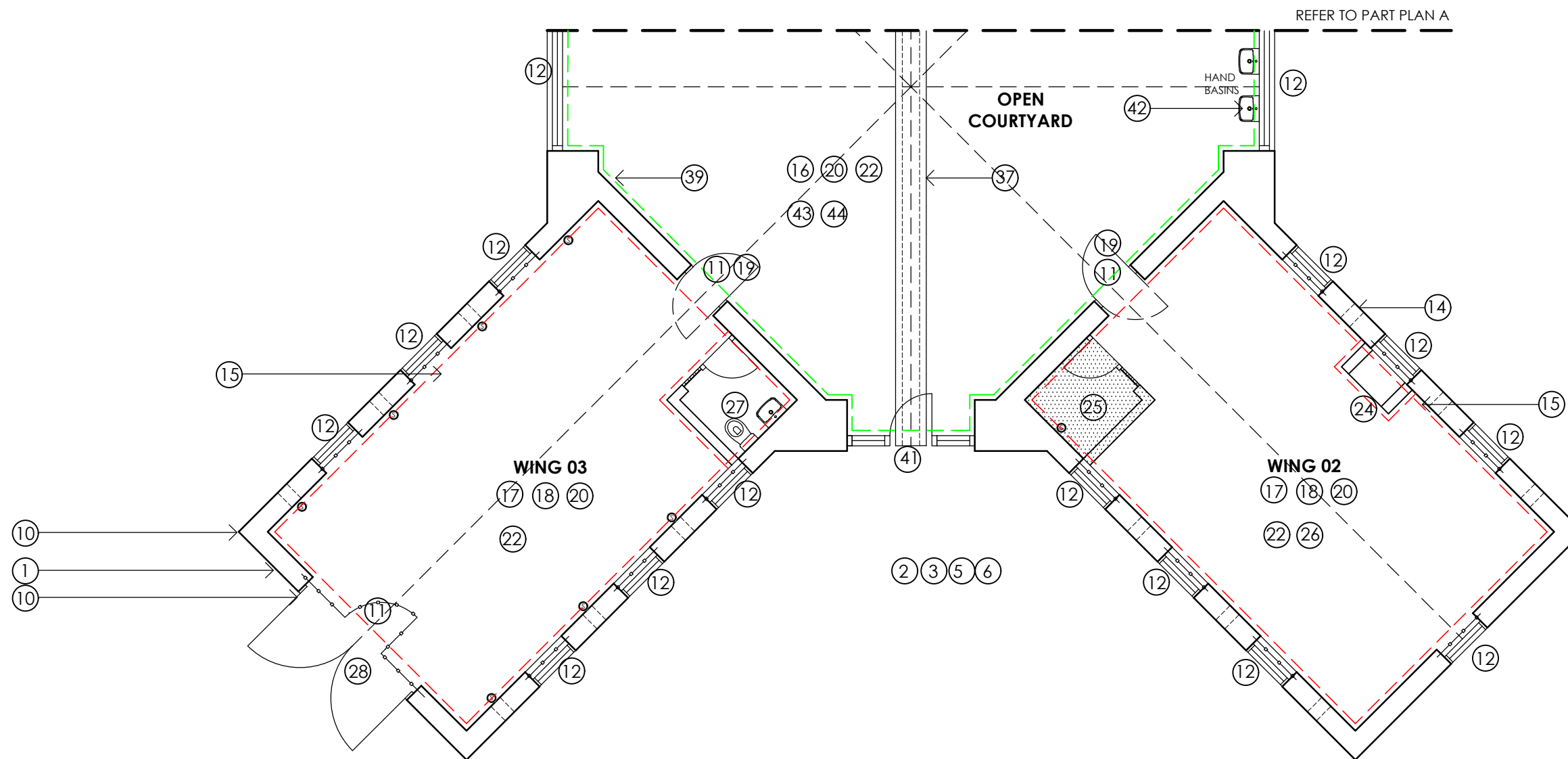
- SK5.3.1
- SK5.3.2
- SK5.3.3
- SK5.3.4



CONSERVATION WORKS - PART PLAN A

B6 LARGER 1896 CELL BLOCK

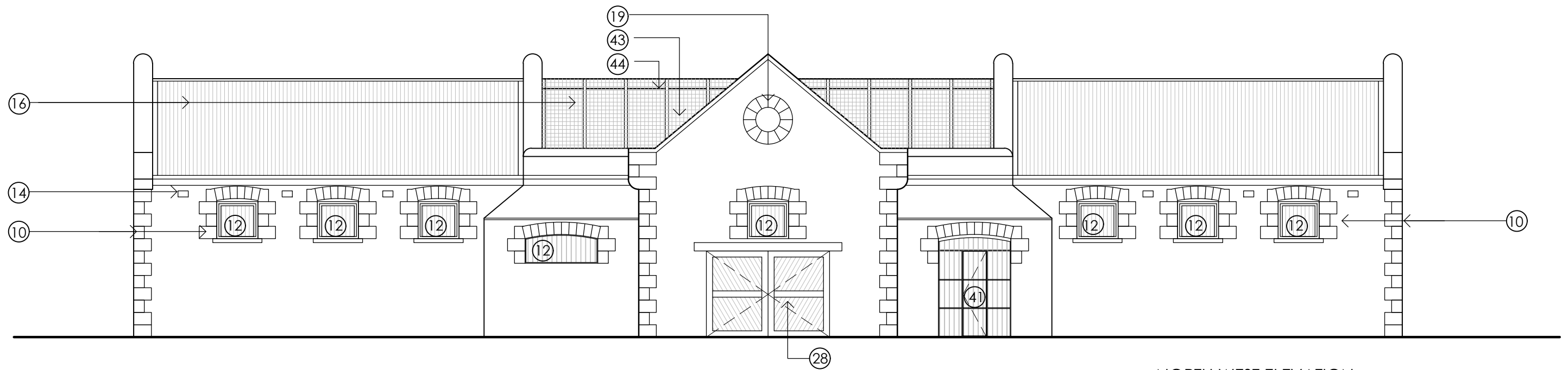
SCALE 1:100 @ A3



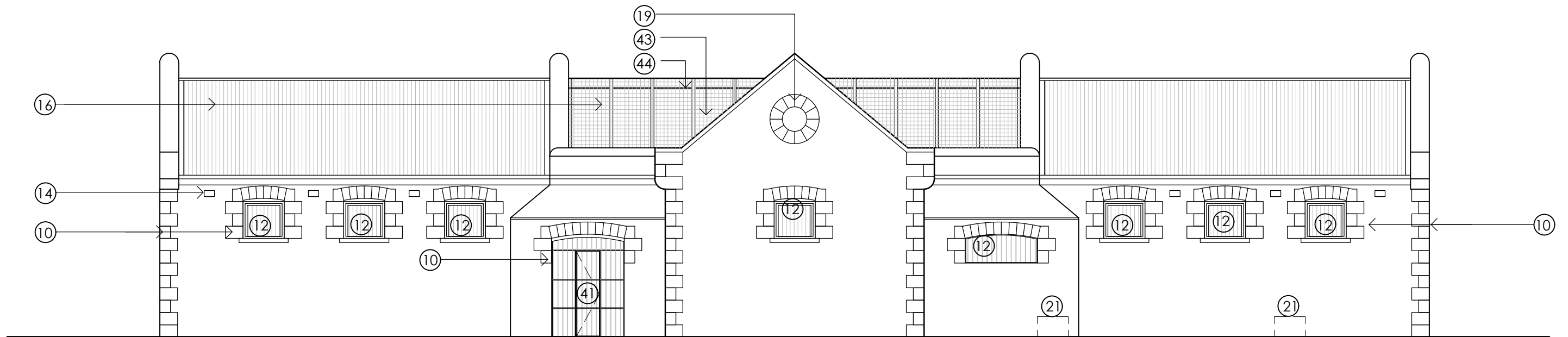
CONSERVATION WORKS - PART PLAN B

B6 LARGER 1896 CELL BLOCK

SCALE 1:100 @ A3



NORTH WEST ELEVATION

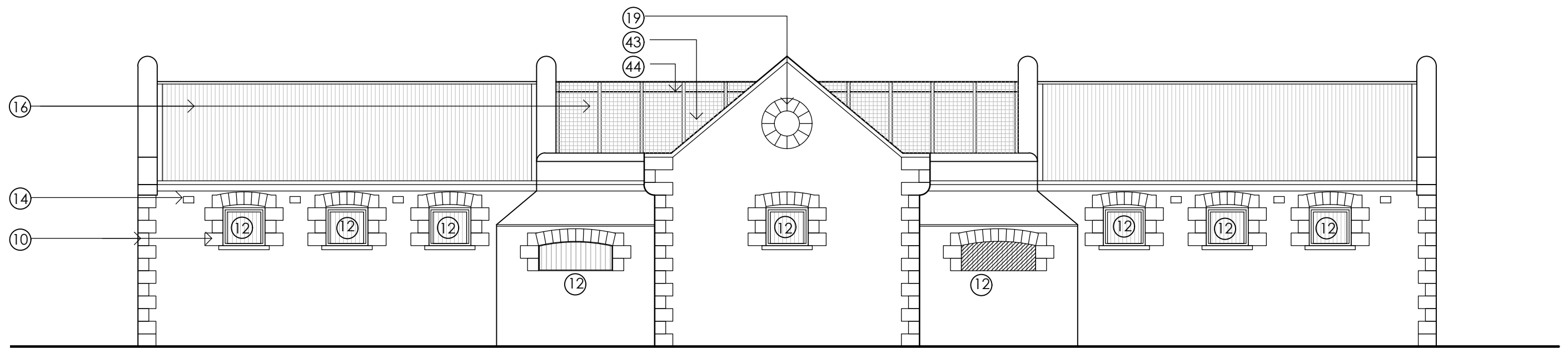


SOUTH WEST ELEVATION

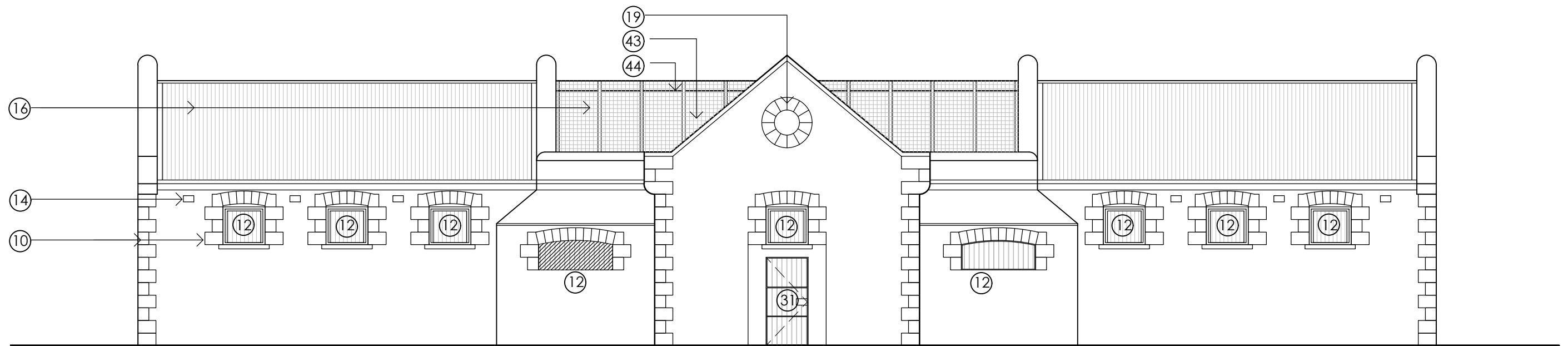
CONSERVATION WORKS - ELEVATIONS

B6 LARGER 1896 CELL BLOCK

SCALE 1:100 @ A3



SOUTH EAST ELEVATION



NORTH EAST ELEVATION

CONSERVATION WORKS - ELEVATIONS

B6 LARGER 1896 CELL BLOCK

SCALE 1:100 @ A3

B6 LARGER 1896 CELL BLOCK
CONSERVATION WORKS

LEGEND

GENERAL

1. RETAIN EXISTING BUILDING, WINGS AND COURTYARD
2. REMOVE ALL MACHINERY DISPLAYS FROM THE SITE AND RELOCATE TO NEW LOCATION
3. REMOVE GEOLOGICAL DISPLAYS AND SIGNAGE FROM THE SITE AND RELOCATE TO NEW LOCATION
4. REMOVE AND STORE INTERPRETIVE / HERITAGE TRAIL SIGNAGE FOR REINSTATEMENT IN NEW LOCATION
5. REMOVE ALL LOW SHRUBS, FLOWERING PLANT, GRASS AROUND THE SITE
6. RETAIN EXISTING MATURE TREES
7. REMOVE CYCLONE FENCING FROM THE SITE
8. COLLECT SAMPLES (SIX SAMPLES FROM VARIOUS LOCATIONS) OF MORTAR MIX FROM EXISTING STONEWALLS. TEST FOR COMPOSITION AND RATIO OF EACH COMPONENT MAKING UP THE MORTAR MIX. PROVIDE SAMPLES OF REPAIR MORTAR MIX BASED ON THE TEST RESULTS
9. COLLECT SAMPLES (FOUR SAMPLES, ONE FROM EACH WING) OF INTERNAL RENDER MIX FROM EXISTING WALLS. TEST FOR COMPOSITION AND RATIO OF EACH COMPONENT MAKING UP THE RENDER MIX. PROVIDE SAMPLES OF REPAIR RENDER MIX BASED ON THE TEST RESULTS
10. PREPARE A SAMPLE PANEL FOR PAINT REMOVAL ON THE PAINTED QUOINS. SOFTEN THE EXISTING PAINT LAYERS USING STEAM CLEANING TECHNIQUE. REMOVE EXISTING PAINT LAYERS USING STEAM CLEANING TECHNIQUE, 'PEELAWAY', WESTOX 'D LAM 20' OR A COMBINATION OF THESE METHODS. NOTIFY THE HERITAGE ARCHITECT AT THE COMPLETION OF THE SAMPLE PANEL TO REVIEW THE OUTCOME OF THE PAINT REMOVAL PROCESS PRIOR TO PROCEEDING FURTHER WITH THE PAINT REMOVAL PROCESS ON ALL PAINTED QUOINS AND LINTELS.
11. RETAIN AND CONSERVE ALL TIMBER LEDGE AND BRACE DOORS, IRON GRILLES AND IRON DOOR HARDWARE. RETAIN AND CONSERVE FANLIGHT AND IRON GRILLES. RUB BACK AND PREPARE TIMBER SURFACES FOR PROTECTIVE COATING. RUB BACK AND REMOVE PAINT FINISH FROM IRON GRILLES AND HARDWARE. PREPARE IRON SURFACES FOR ANTI-RUST TREATMENT. COAT ALL IRON SURFACES WITH 'PENETROL'.
12. RETAIN AND CONSERVE ALL TIMBER STORM SHUTTERS, WHERE APPLICABLE, AND IRON GRILLES ON ALL WINDOWS. RUB BACK AND PREPARE TIMBER SURFACES FOR PROTECTIVE COATING. RUB BACK AND PREPARE IRON SURFACES FOR ANTI-RUST TREATMENT. COAT ALL IRON SURFACES WITH 'PENETROL'.
13. RETAIN AND CONSERVE ALL MANACLE RINGS IN EACH WING. CAREFULLY RUB DOWN AND REMOVE PAINT FINISH. PREPARE SURFACES FOR ANTI-RUST TREATMENT. COAT ALL SURFACES WITH 'PENETROL'
14. RETAIN ALL CAST IRON WALL VENTS
15. RUB BACK AND REMOVE FLAKY PAINT FROM INTERNAL WALL SURFACES IN ALL WINGS INCLUDING FIREPLACE AND CHIMNEY BREAST IN WING 02. PREPARE ALL WALL SURFACES FOR LIME WASH.

GENERAL (CONTINUE)

16. RETAIN AND CONSERVE EXISTING TIMBER ROOF STRUCTURE, CORRUGATED IRON ROOFING, STEEL FRAMED STRUCTURE ABOVE COURTYARD.
17. RETAIN AND CONSERVE CORRUGATED IRON CEILING LINING IN ALL WINGS. RUB BACK AND PREPARE SURFACES FOR NEW PAINT FINISH
18. REMOVE DISPLAY CASES AND ARTEFACTS IN WING 02 AND 03. REMOVE WALL DISPLAYS AND ASSOCIATED FIXINGS AND FIXING RAILS IN WING 02 AND 03. CURATE PHOTOGRAPHS AND ARTEFACTS AND STORE SAFELY FOR REUSE IN INTERPRETATION AND EXHIBITION.
19. RECONSTRUCT FIXED TIMBER LOUVERS TO HIGH LEVEL CIRCULAR WINDOWS IN ALL WINGS. APPLY TIMBER PROTECTIVE COATING ON TIMBER SURFACES. INSTALL POWDER COATED STAINLESS STEEL MESH TO THE INTERNAL FACE OF THE LOUVERS.
20. REMOVE ALL DEBRIS AND LOOSE FURNITURE FROM WINGS AND COURTYARD.
21. REMOVE ALL AIR CONDITIONING AND CONDENSER UNITS, ASSOCIATED DUCTING AND WIRING
22. RETAIN ALL EXISTING SERVICES TO WINGS AND COURTYARD

WING 01

23. CAREFULLY REMOVE INTERNAL RENDERED WALLS AND SLAB (1970S TOILET ADDITION). PATCH REPAIR INTERFACE BETWEEN INTERNAL WALL AND STONEWALLS WITH REPAIR MORTAR AND SALVAGE RUBBLE IF REQUIRED.

WING 02

24. RETAIN FIREPLACE AND CHIMNEY
25. CAREFULLY REMOVE INTERNAL RENDERED WALLS AND SLAB (1970S TOILET ADDITION). PATCH REPAIR INTERFACE BETWEEN INTERNAL WALL AND STONEWALLS WITH REPAIR MORTAR AND SALVAGE RUBBLE IF REQUIRED.
26. RETAIN CONCRETE SLAB IN WING.

WING 03

27. RETAIN INTERNAL RENDERED WALLS AND SLAB (1970S TOILET ADDITION)
28. RETAIN TIMBER FRAMED LARGE DOUBLE DOORS. RUB BACK AND PREPARE TIMBER SURFACES FOR PROTECTIVE COATING (BOTH SIDES). CAREFULLY SPLICE AND REMOVE DETERIORATED TIMBER LINTEL AND SPLICE IN SOUND TIMBER FROM SALVAGED / RECYCLED TIMBER OF THE SAME SPECIES AND SIZE.

WING 04

29. REMOVE EXISTING TIMBER COUNTER, DISPLAY CABINETS, LOOSE FURNITURE AND SHELVING.
30. 30.REMOVE INTERNAL FIT OUT OF EXISTING TOILET, INCLUDING ALL FITTINGS, FIXTURES, PARTITION, VANITY, TILED FLOOR AND SKIRTING.

WING 04 (CONTINUE)

31. REMOVE TIMBER FRAMED EXTERNAL DOOR WITH GLAZED PANEL. REINSTATE HIGH LEVEL WINDOW TO MATCH ORIGINAL IN OTHER WINGS INCLUDING TIMBER FRAMED STORM SHUTTERS AND IRON GRILLES

32. REMOVE FLOOR TILES TO EXPOSE ORIGINAL CONCRETE SLAB

33. REMOVE SURFACE MOUNTED SIGNAGE

34. RETAIN ALL INTERNAL BRICK WALLS (1970S SEGREGATION WINGS) AND PAINT FINISH.

COURTYARD

35. REMOVE PARTITIONS TO TOILETS.

36. REMOVE ALL TILED SURFACES AND FITTINGS INSIDE TOILETS.

37. REMOVE CAST IRON COVER TO ORIGINAL DRAINAGE TRENCH IN THE CENTER OF THE COURTYARD.

38. PREPARE A SAMPLE PANEL (MINIMUM 1M²) FOR PAINT REMOVAL ON THE EXPOSED STONEWORK. SOFTEN THE EXISTING PAINT LAYERS USING STEAM CLEANING TECHNIQUE. REMOVE EXISTING PAINT LAYERS USING STEAM CLEANING TECHNIQUE, 'PEELAWAY', WESTOX 'D LAM 20' OR A COMBINATION OF THESE METHODS. EXERCISE CAUTION AS THE EXISTING PAINT LAYERS MAY CONTAIN LEAD PAINT DUE TO THE AGE OF THE BUILDING. NOTIFY THE HERITAGE ARCHITECT AT THE COMPLETION OF THE SAMPLE PANEL TO REVIEW THE OUTCOME OF THE PAINT REMOVAL PROCESS PRIOR TO PROCEEDING FURTHER WITH THE PAINT REMOVAL PROCESS ON ALL WALLS IN THE COURTYARD.

39. CAREFULLY REMOVE BLACK PAINTED SURFACES ON EXPOSED STONEWORK USING APPROVED PAINT REMOVAL METHOD.

40. REMOVE WHITE PAINTED SURFACES ON EXPOSED STONEWORK USING APPROVED PAINT REMOVAL METHOD

41. RETAIN AND CONSERVE ALL IRON GRILLES IN WINDOW OPENINGS AND LARGE ENTRY INTO COURTYARD. RUB BACK AND REMOVE PAINT FINISH. PREPARE IRON SURFACES FOR ANTI-RUST TREATMENT. COAT ALL IRON SURFACES WITH 'PENETROL'.

42. REMOVE STAINLESS STEEL SINKS AND ASSOCIATED PLUMBING.

43. REMOVE SHADE CLOTH ABOVE COURTYARD.

44. RUB BACK AND PREPARE STEEL ROOF FRAMES ABOVE COURTYARD FOR STEEL PROTECTIVE COATING AND NEW PAINT FINISH. CHECK FOR LOOSE/DETERIORATED STONEWORK AROUND BEAM BEDDINGS.

45. REMOVE SURFACE MOUNTING LIGHT FITTING AND ASSOCIATE CONDUITS ABOVE ENTRY TO EACH WING.



7.6. B10: 1896 Gaoler's Quarters

Option	Proposal	Recommendation	Timeframe for works to be carried out
Option 1	Demolition in full	Not recommended	--
Option 2	Board up and left as stabilised ruins with interpretation	Not recommended	--
Option 3	Maintenance to allow for safe access without new use apart from interpretation	Not recommended	--
Option 4	Restore to allow for occasional use but not full time occupation	Recommended	Within 1 - 2 years
	Immediate action required to secure existing roof and two cast iron posts on the veranda		As soon as possible, within the next 6 months, before the next cyclone season
Option 5	Complete restoration with new use	Recommended	Within 2 - 3 years or as alternative to 'Occasional Use' (Option 4)

Refer to the following drawings for 'Conservation Works'

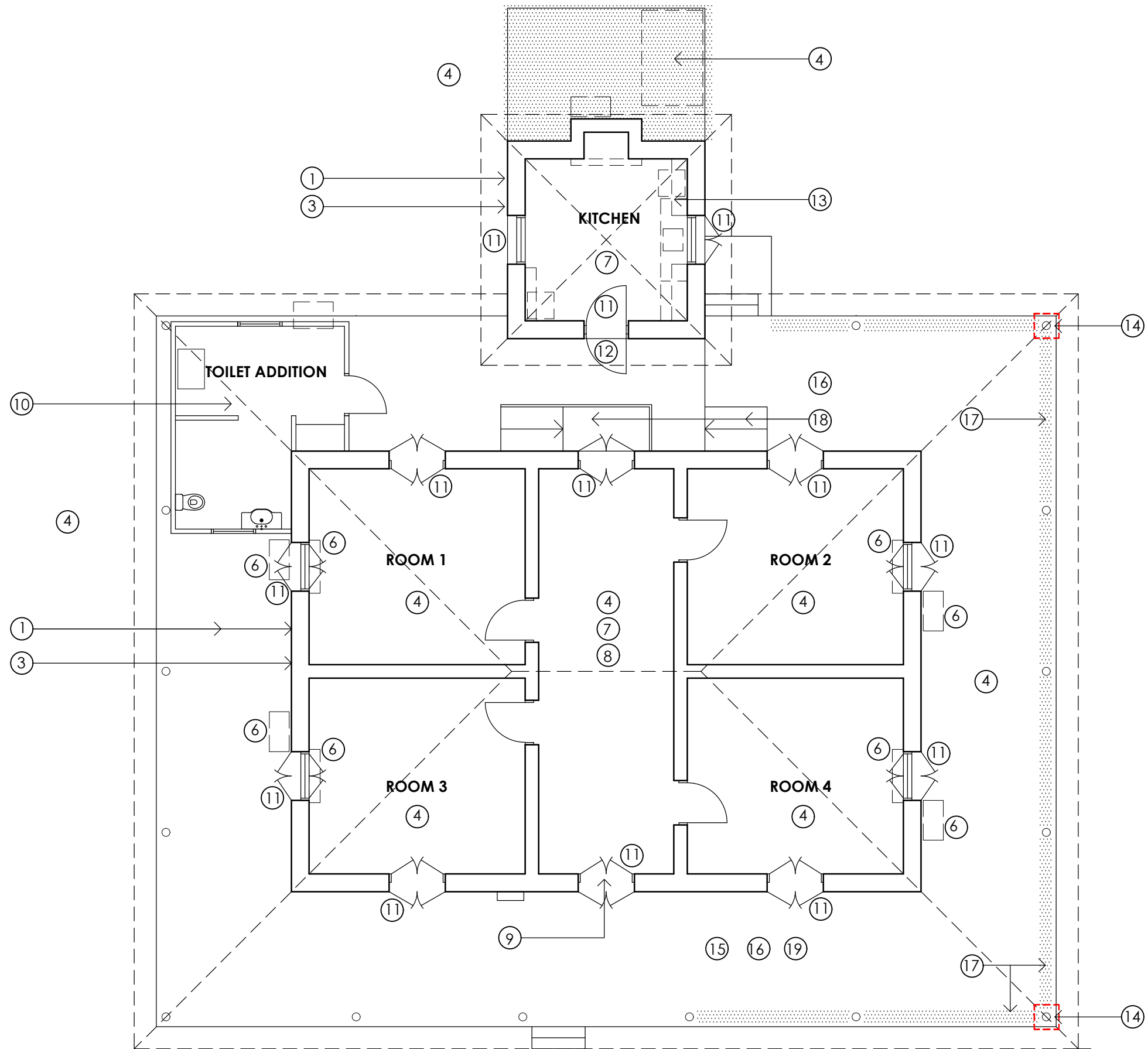
- SK6.1.1
- SK6.1.2
- SK6.1.3
- SK6.1.4

Refer to the following drawings for 'Conservation Works' to allow for 'Occasional Use' (Option 4)

- SK6.2.1
- SK6.2.2
- SK6.2.3

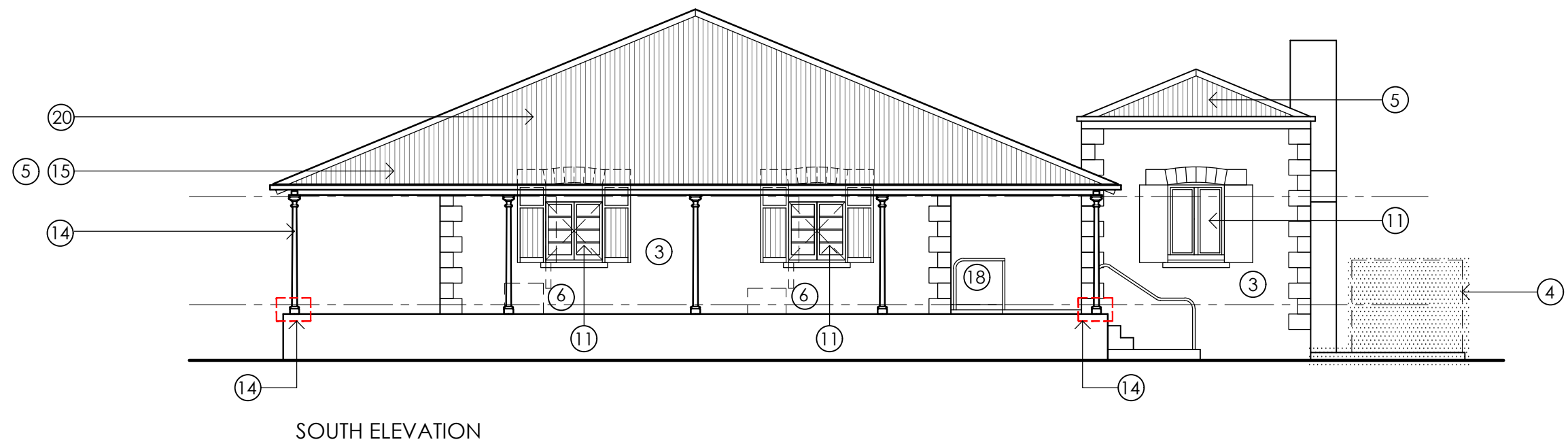
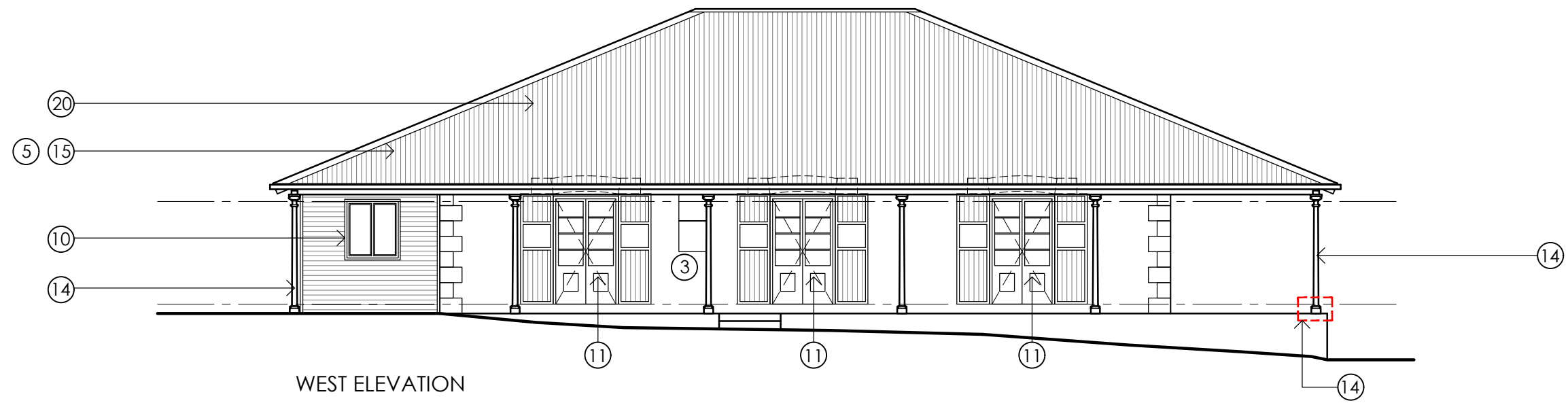
Refer to the following drawings for 'Conservation Works' to allow for 'New Use' (Option 5)

- SK6.3.1
- SK6.3.2
- SK6.3.3



CONSERVATION WORKS - PLAN

B10 GAOLER'S QUARTERS
SCALE 1:100 @ A3



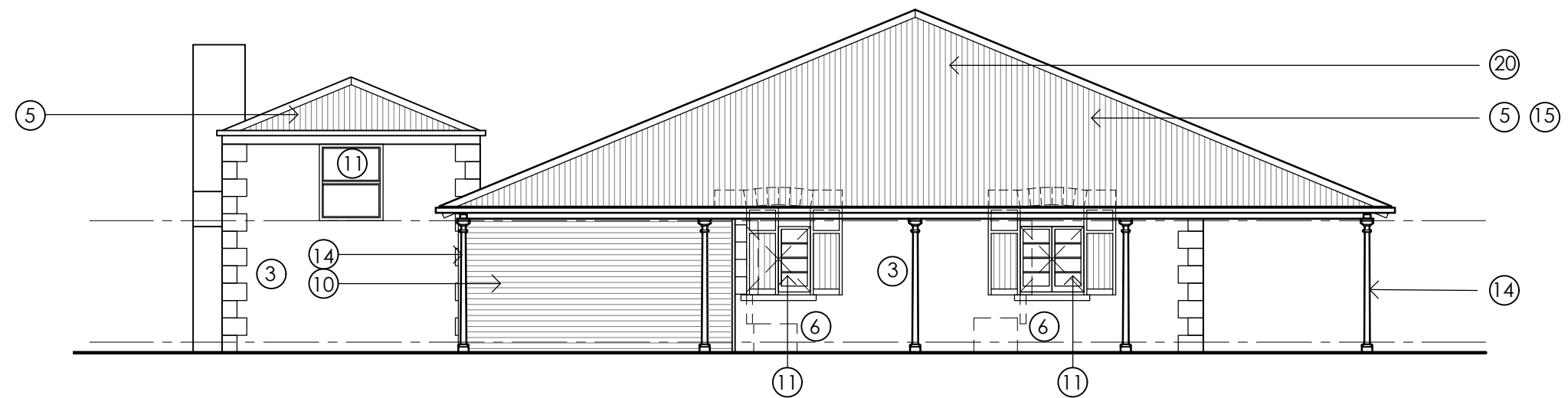
CONSERVATION WORKS - PLAN

B10 GAOLER'S QUARTERS

SCALE 1:100 @ A3



EAST ELEVATION



NORTH ELEVATION

CONSERVATION WORKS - PLAN

B10 GAOLER'S QUARTERS

SCALE 1:100 @ A3

B10 GAOLER'S QUARTERS
CONSERVATION WORKS

LEGEND

GENERAL

- 1. STABILISE AND RETAIN EXISTING BUILDING, KITCHEN BLOCK AND VERANDA
- 2. COLLECT SAMPLES (THREE SAMPLES FROM VARIOUS LOCATIONS) OF MORTAR MIX FROM EXISTING STONEWALLS. TEST FOR COMPOSITION AND RATIO OF EACH COMPONENT MAKING UP THE MORTAR MIX. PROVIDE SAMPLES OF REPAIR MORTAR MIX BASED ON THE TEST RESULTS
- 3. CAREFULLY CLEAN ALL EXPOSED STONE WALLS AND CONCRETE SLAB USING STEAM CLEANING METHOD.
- 4. REMOVE ALL DEBRIS AROUND THE BUILDING, VERANDA, IN ROOMS AND CORRIDOR. REMOVE CONCRETE SLAB, CHOOK PEN ETC. BEHIND KITCHEN.
- 5. REMOVE AND REPLACE ROOFING WITH GALVANISED CORRUGATED IRON ROOFING, ROOF FLASHING TO EXISTING BUILDING, VERANDA AND KITCHEN BLOCK. INSPECT ALL HOLD DOWN ANCHORS AND STRAPS AND REPLACE IF MISSING OR DAMAGED.
- 6. REMOVE ALL AIR CONDITIONING AND CONDENSER UNITS AND ASSOCIATED DUCTING FROM THE MAIN HOUSE AND KITCHEN BLOCK.
- 7. RETAIN EXISTING POWER, WATER, GAS SERVICES TO THE BUILDING.

CORRIDOR

- 8. REMOVE NOTICEBOARDS.
- 9. REMOVE PLASTIC SCREEN FROM MAIN ENTRANCE.

EXTERNAL TOILET ADDITION

- 10. WORKS TO AND / OR REMOVAL OF THE EXISTING TOILET ADDITION SUBJECT TO PROPOSE NEW USE.

KITCHEN BLOCK

- 11. RETAIN EXISTING TIMBER FRAMED DOOR AND SASH WINDOWS.
- 12. REMOVE EXISTING SECURITY SCREEN DOOR.
- 13. REMOVE ALL BUILT IN CABINETRY AND SINK. RETAIN EXISTING PLUMBING AND GAS CONNECTION FOR NEW USE/USES.

VERANDA

- 14. RETAIN ALL CAST IRON VERANDA POSTS. INSPECT ANCHOR RODS OF BASEPLATES AT 2 POSTS. PENDING ON OUTCOME, CONSIDER REPAIRS OF ALL ANCHOR RODS AT BASEPLATE. RUB BACK AND PREPARE SURFACES FOR ANTI-RUST PROTECTIVE COATING AND NEW PAINT FINISH.
- 15. RETAIN TIMBER ROOF STRUCTURE AND BEAMS. RUB BACK AND PREPARE ALL TIMBER SURFACES FOR NEW PAINT FINISHES. RUB BACK AND PREPARE EXISTING BOLTS FOR ANTI-RUST PROTECTIVE COATING AND NEW PAINT FINISH.

VERANDA (CONTINUE)

- 16. RETAIN CONCRETE SLAB.
- 17. REMOVE ALL ROPE BARRIERS BETWEEN VERANDA POSTS. REINSTATE TIMBER BALUSTRADES WITH PAINT FINISH BETWEEN POSTS IN ACCORDANCE WITH PHOTOGRAPHIC EVIDENCE. EVIDENCE OF PREVIOUS BALUSTRADE UPRIGHTS ARE STILL VISIBLE IN THE CONCRETE SLAB AND THESE LOCATIONS IN THE SLAB CAN BE USE AS GUIDANCE FOR THE REINSTATEMENT.
- 18. WORKS TO AND / OR REMOVAL OF EXISTING CONCRETE RAMP AND TUBULAR STEEL HANDRAILS SUBJECT TO PROPOSE NEW USE.
- 19. PROVIDE NEW LIGHT FITTINGS (MOUNTED TO TIMBER JOISTS).

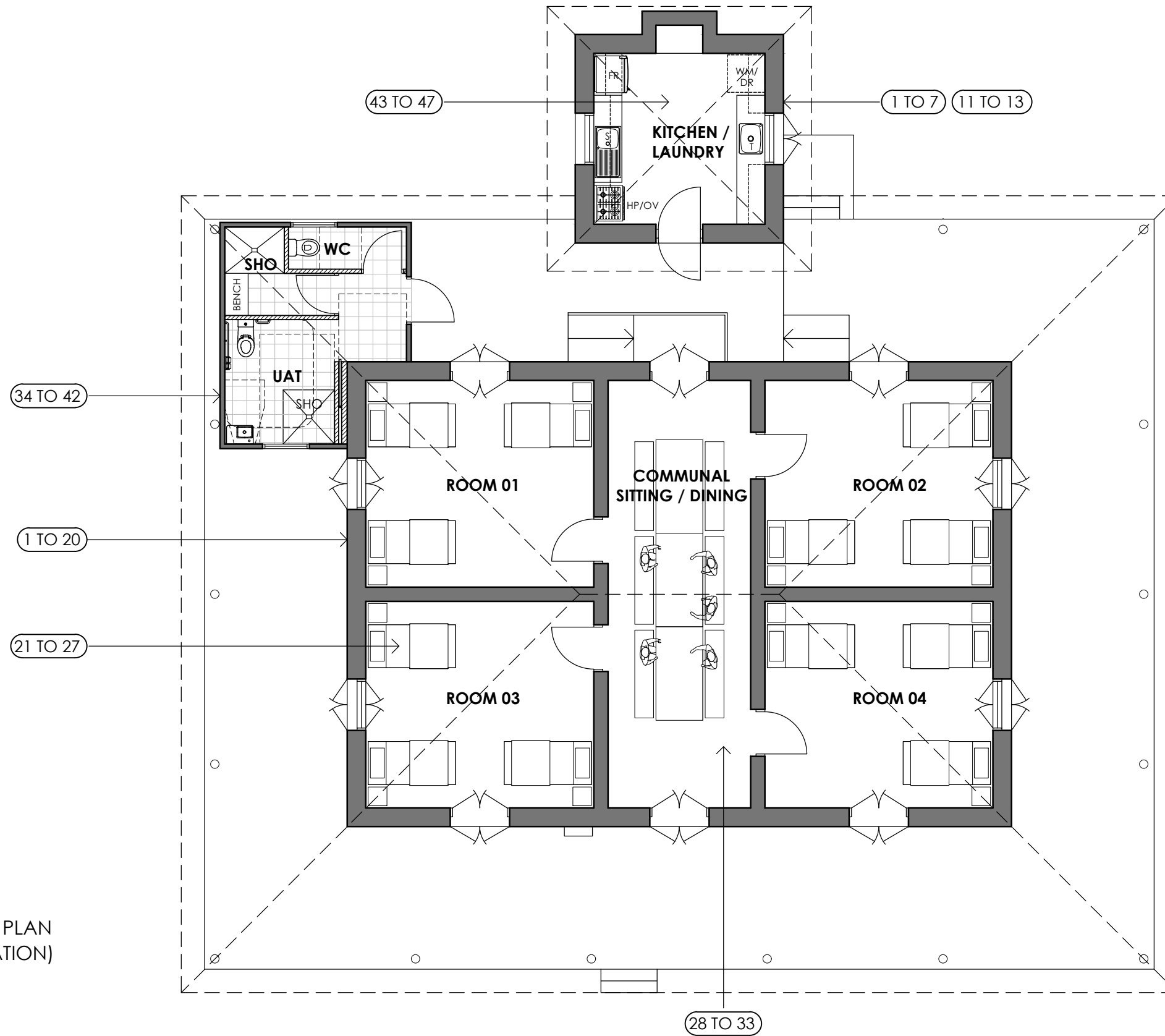
IMMEDIATE ACTIONS

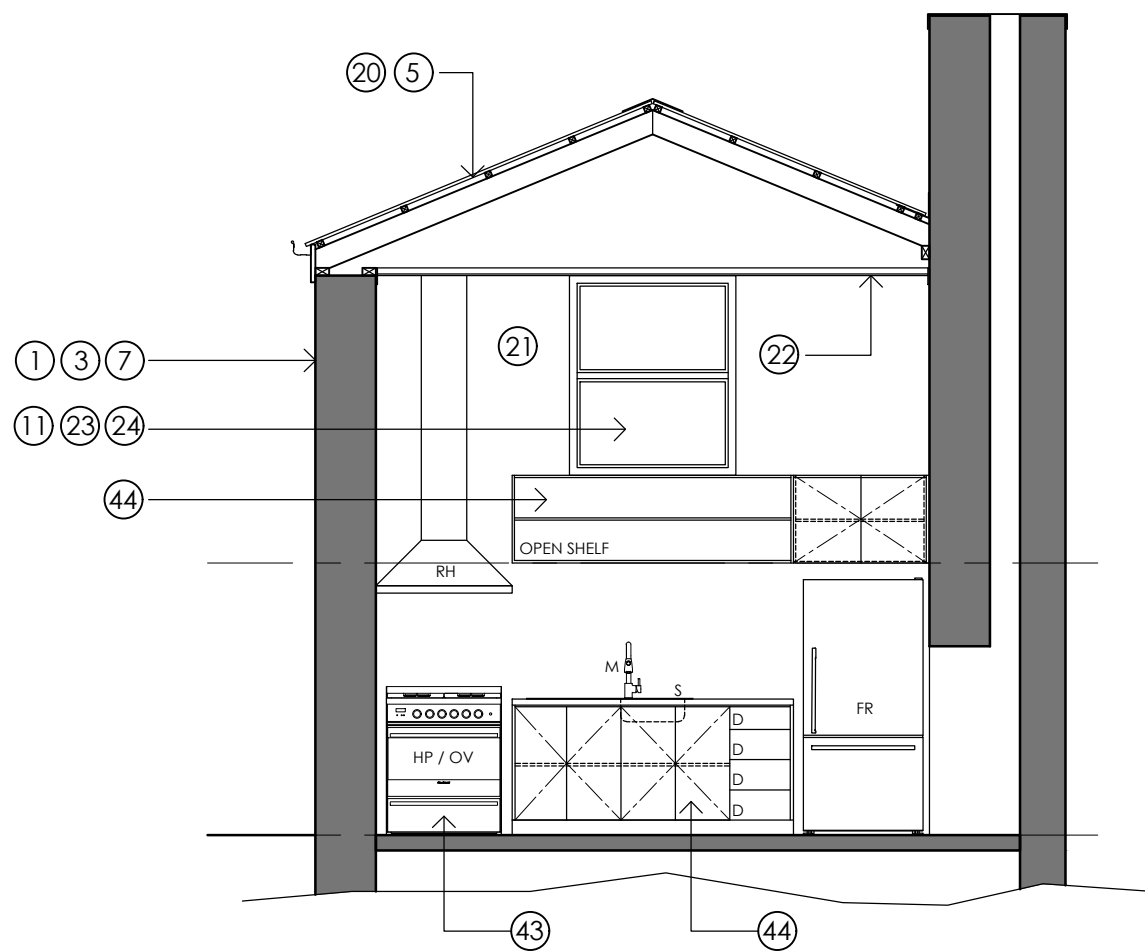
- 20. RE-SECURING OF ENTIRE ROOF SHEETS WITH CYCLONIC SCREWS. REMOVAL OF EXISTING DAMAGED WOODEN CYCLONE BATS AND REPLACEMENT WITH TEMPORARY 50x50 GALVANISED ANGLE LINE UNTIL RESTORATION. SECURE TEMPORARY ANGLE LINE WITH COACH SCREWS SIMILAR TO GAOL BUILDING. CAUTION: PRE-DRILLING NECESSARY DUE TO EXTREME HARD/DRY TIMBER. BATTENS WILL SPLIT IF PRE-DRILLING NOT CARRIED OUT.



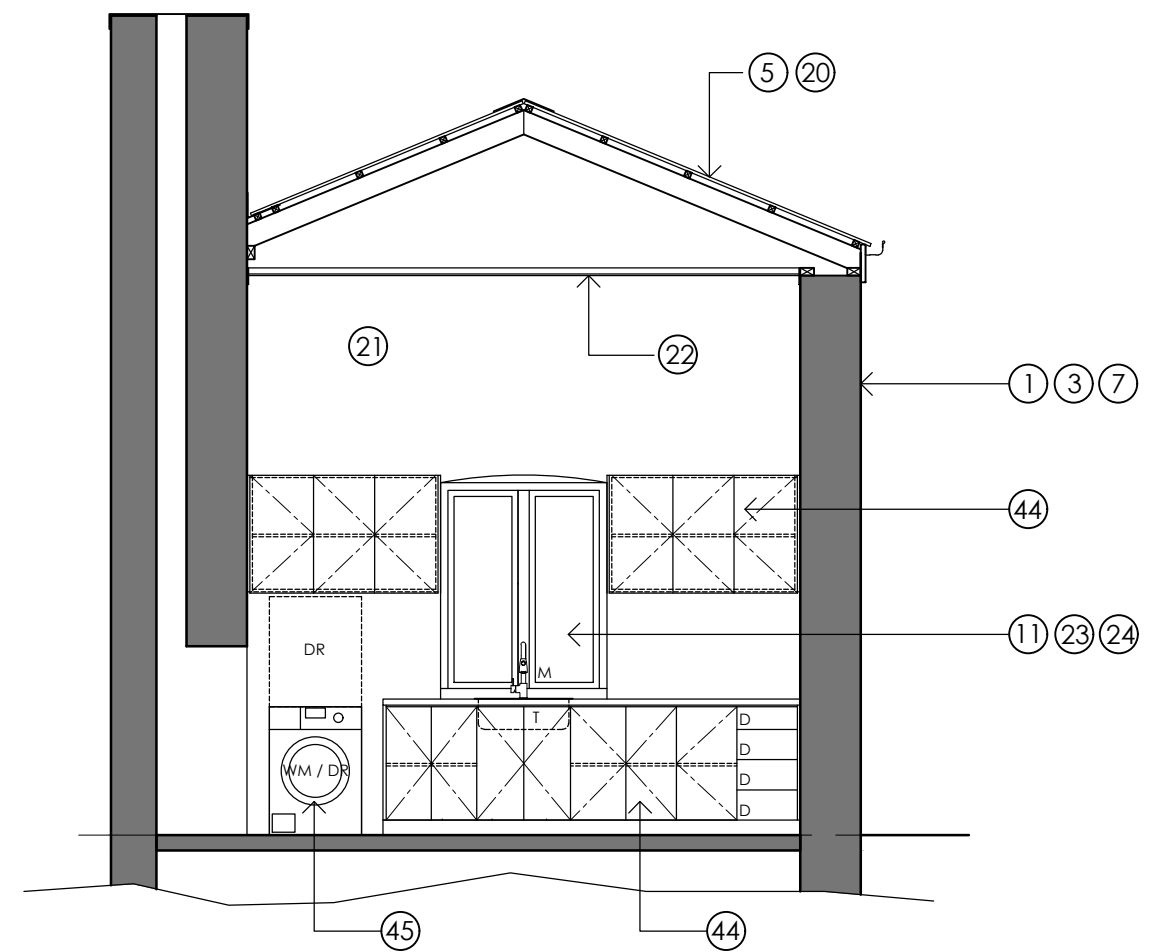
CONSERVATION WORKS AND NEW USE - PLAN
(SELF CATERED / SHARED ACCOMMODATION)

B10 1896 GAOLER'S QUARTERS
SCALE 1:100 @ A3





INTERNAL ELEVATION 1
KITCHEN / LAUNDRY



INTERNAL ELEVATION 2
KITCHEN / LAUNDRY

CONSERVATION WORKS AND NEW USE

B10 1896 GAOLER'S QUARTERS ELEVATIONS

SCALE 1:50 @ A3

B10 1896 GAOLER'S QUARTERS
CONSERVATION WORK AND ASSOCIATED WORK FOR NEW USE

PROPOSED NEW USE:

- SHORT TERM ACCOMMODATION, SELF CATERED (SHARED ROOMS WITH SINGLE OR QUEEN BED IN EACH ROOM)
- COMMUNAL KITCHEN AND TOILET FACILITIES
- COMMUNAL DINING AND SITTING AREA IN THE CENTRAL CORRIDOR

LEGEND

GENERAL

UNDERTAKE ALL WORK ITEMS 1 TO 20. REFER TO SK6.1.4 AND ADDITIONAL WORKS AS FOLLOWS:

21.
- RUB DOWN AND PREPARE ALL INTERNAL WALL SURFACES FOR NEW PAINT FINISH. REPAINT ALL WALLS IN NEW COLOUR SCHEME.
22.
- PREPARE ALL CEILING SURFACES FOR NEW PAINT FINISH. PATCH UP PREVIOUS FIXING HOLES AND PENETRATION FROM CEILING MOUNTED LIGHT FITTINGS AND SERVICES. REPAINT ALL CEILINGS IN FLAT WHITE CEILING PAINT.
23.
- RUB DOWN ALL TIMBER FRAMED DOORS, SASH WINDOWS AND ARCHITRAVES. PUTTY AND SAND BACK HOLES. PREPARE ALL TIMBER SURFACES FOR NEW PAINT FINISHES. REPAINT IN NEW COLOUR SCHEME. REPLACE DOOR HARDWARE AND INSTALL LOCKS SUITABLE FOR THE STYLE AND PERIOD OF THE BUILDING TO ALL ROOMS.
24.
- ENSURE ALL WINDOWS ARE OPERABLE AND ALL SASH CORDS ARE INTACT. REPLACE DAMAGED OR MISSING SASH CORDS. REPLACE WINDOW HARDWARE SUITABLE FOR THE STYLE AND PERIOD OF THE BUILDING.
25.
- PROVIDE NEW LIGHT FITTINGS (LED DOWNLIGHTS, ALLOW FOR SIX NOS.) TO EACH ROOM
26.
- PROVIDE NEW BEDS AND BED LINEN IN EACH ROOM TO SUIT TYPE OF ACCOMMODATION.
27.
- PROVIDE SMOKE DETECTION ALARM IN EACH ROOM

CORRIDOR

28.
- RUB DOWN AND PREPARE ALL INTERNAL WALL SURFACES FOR NEW PAINT FINISH. REPAINT ALL WALLS IN NEW COLOUR SCHEME.
29.
- RUB DOWN ALL TIMBER FRAMED DOORS, ARCHITRAVES AND EXTERNAL SHUTTERS. PUTTY AND SAND BACK HOLES. PREPARE ALL TIMBER SURFACES FOR NEW PAINT FINISHES. REPAINT IN NEW COLOUR SCHEME. REPLACE WITH NEW DOOR HARDWARE SUITABLE FOR THE STYLE AND PERIOD OF THE BUILDING
30.
- PREPARE ALL CEILING SURFACES FOR NEW PAINT FINISH. PATCH UP PREVIOUS FIXING HOLES AND PENETRATION FROM CEILING MOUNTED LIGHT FITTINGS AND SERVICES. REPAINT ALL CEILINGS IN FLAT WHITE CEILING PAINT
31.
- PROVIDE LONG TIMBER TABLES AND BENCHES AS COMMUNAL DINING AND SITTING AREA

GENERAL (CONTINUE)

32.
- PROVIDE FIRE EXTINGUISHER AND FIRE BLANKET.
33.
- PROVIDE SMOKE DETECTION ALARM

EXTERNAL TOILET ADDITION

34.
- RETAIN EXISTING TOILET ADDITION.
35.
- REMOVE BUILT IN SHELVES AND INTERNAL PARTITIONS.
36.
- INSTALL NEW PARTITIONS AND CUBICLES.
37.
- INSTALL NEW TOILET SUITE AND PAPER HOLDER.
38.
- INSTALL NEW SHOWER RAIL, MIXER, ROBE HOOKS AND SHELF / TOILETRY HOLDER.
39.
- INSTALL NEW HAND BASINS AND MIRROR.
40.
- REPLACE EXISTING FLOOR FINISH WITH NEW VINYL FLOORING AND VINYL SKIRTING.
41.
- REMOVE ALL FIXINGS AND FIXTURES ON EXTERNAL STONE WALL. RELOCATE HAND BASIN AND MIRROR.
42.
- PROVIDE SMOKE DETECTION ALARM. MECHANICAL VENTILATION, AS REQUIRED, THROUGH ROOF.

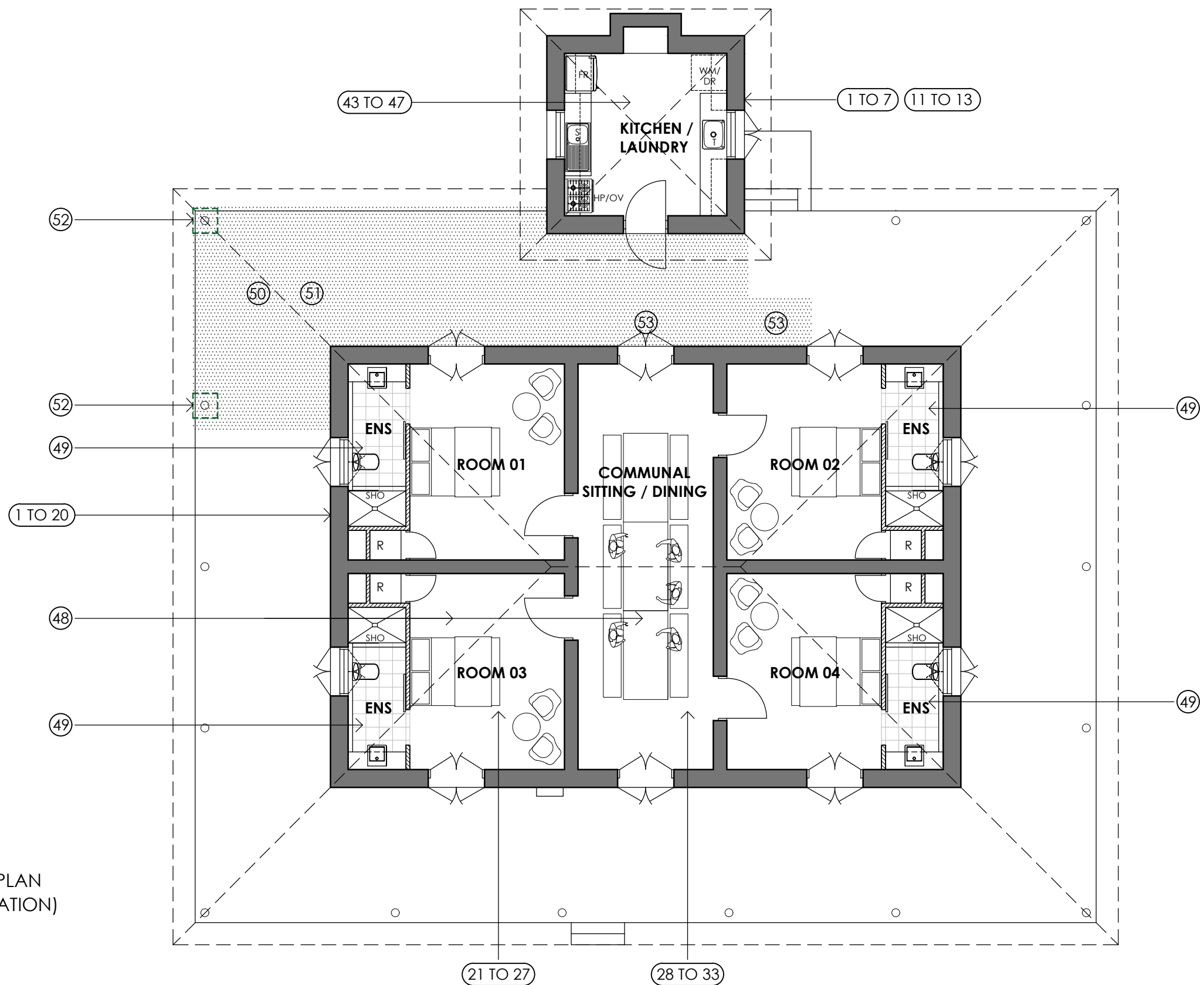
KITCHEN BLOCK

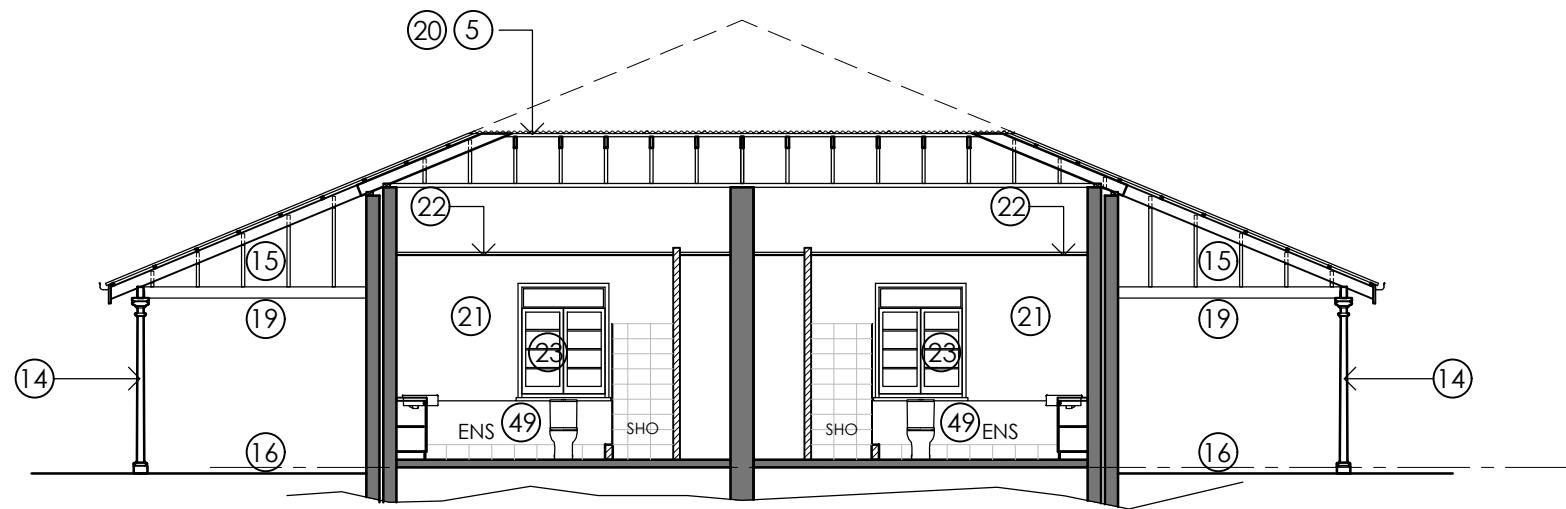
43.
- RETAIN EXISTING FREE STANDING COOKTOP AND OVEN IF THIS UNIT IS STILL OPERATIONAL. REPLACE WITH NEW FREE STANDING COOKTOP AND OVEN IF NOT OPERATIONAL.
44.
- INSTALL NEW BUILT IN CABINETRY, FIXED WALL SHELVES, KITCHEN SINK AND BENCH TOPS. REFER TO SK6.2.3.
45.
- INSTALL NEW WASHER AND DRYER (STACKED ON TOP OF EACH OTHER) AND LAUNDRY TROUGH. REFER TO SK6.2.3.
46.
- PROVIDE FIRE EXTINGUISHER AND FIRE BLANKET.
47.
- PROVIDE SMOKE DETECTION ALARM.



CONSERVATION WORKS AND NEW USE - PLAN
(BED AND BREAKFAST TYPE ACCOMMODATION)

B10 1896 GAOLER'S QUARTERS
SCALE 1:100 @ A3





CROSS SECTION



LONGITUDINAL SECTION

CONSERVATION WORKS AND NEW USE

B10 1896 GAOLER'S QUARTERS ELEVATIONS

SCALE 1:100 @ A3

B10 1896 GAOLER'S QUARTERS
CONSERVATION WORK AND ASSOCIATED WORK FOR NEW USE

PROPOSED NEW USE:

- SHORT TERM , BED AND BREAKFAST TYPE ACCOMMODATION (ROOMS WITH SINGLE OR QUEEN BED IN EACH ROOM) WITH ENSUITE
- COMMUNAL KITCHEN AND LAUNDRY FACILITIES
- COMMUNAL DINING AND SITTING AREA IN THE CENTRAL CORRIDOR

LEGEND

GENERAL

UNDERTAKE ALL WORK ITEMS 1 TO 20 (REFER TO SK6.1.4), WORK ITEMS 21 TO 33 (REFER TO SK6.2.5), WORK ITEMS 43 TO 47 (SK6.2.5) AND ADDITIONAL WORKS AS FOLLOWS:

GENERAL

48. PROVIDE DUCTED AIR-CONDITIONING THROUGHOUT.
49. NEW ENSUITE IN EACH ROOM INCLUDING SHOWER, VANITY, MIRROR, TOILET SUITE, PAPER HOLDER, TOWEL RAIL, TILED FLOOR AND SKIRTING, TILED WALLS (SHOWER AREA ONLY), BUILT IN STORAGE WITH CLOTHES RAIL. MECHANICAL VENTILATION, AS REQUIRED, THROUGH ROOF.

EXTERNAL TOILET ADDITION

50. REMOVE TOILET ADDITION.
51. REMOVE CONCRETE SLAB. SCABBLE BACK AND PROVIDE NEW SLAB TO MATCH ORIGINAL VERANDAH LEVEL.
52. ASSESS CONDITION OF COLUMN BASES THAT ARE BURIED INTO CONCRETE SLAB. PENDING ON OUTCOME, CONSIDER REPAIRS OR A SUITABLE REPLACEMENT TO HERITAGE ARCHITECT'S APPROVAL.
53. REMOVE EXISTING RAMPS, LANDING AND BALUSTRADE. PROVIDE A PORTABLE RAMP, IF REQUIRED.



8.0 Cost Estimates

The following cost estimates are provided based on the proposed conservation works, and new works identified for the six buildings in Section 7.0.

Clarifications:

All costs are exclusive of Professional fees, escalation beyond July 2017 and GST.

A +60% location allowance applied to rates for building works in Roebourne based on availability of trades and / or heritage specialist trades.

There is a substantial cost increase to the estimates should builders and / or specialist trades are required to travel from Perth.

Refer to Appendix for full breakdown of the cost estimates.

Building	Proposed Work	Cost Estimate (Total)
B2 1887 Cell Block	Conservation Works	\$135,000
	Conservation Works and Interpretation	\$151,000
	Conservation Works and Occasional Use	To be provided
B3 1887 Kitchen / Day Room	Conservation Works	\$132,000
	Conservation Works and Occasional Use	\$203,000
	- with skillion roof and outdoor area	\$240,000
	Conservation Works and New Use	To be provided
B4 1887 Police Quarters	Conservation Works	\$257,000
	Conservation Works and New Use	\$543,000
	- arts & craft, training, meeting rooms	
	Conservation Works and New Use	\$538,000
	- accommodation	
B5 1896 Smaller Cell Block	Conservation Works	\$105,000
	Conservation Works and Occasional Use	\$112,000
	Conservation Works and New Use	\$184,000
B6 1896 Larger Cell Block	Conservation Works	\$216,000
	Conservation Works and New Use	To be provided
B10 1896 Gaoler's Quarters	Conservation Works	\$292,000
	Conservation Works and Occasional Use	\$471,000
	Conservation Works and New Use	\$615,000

9.0 Tourism in Roebourne

Tourism figures provided by the Roebourne Visitors Centre demonstrate that a large number of transient visitors pass through Roebourne every year. During 2015-2016, over 18,000 people came through. The town is located on the main North West Coastal Highway and is well placed to capitalise on tourist trade.

Tourism Western Australia collect the data on visitor numbers and trends within Western Australia. The *Visitation to Western Australia – Year Ending December 2016* report (appended) reports that during that year, over 30 million visitors came into the State, with over 10 million staying overnight, spending \$10 billion/year. Visitor numbers were collected as follows:

Visitor type	Spend	Visitor Numbers	Overnight stays
International	\$2,369 million	954,000	28.6 million
Interstate	\$1,564 million	1.4 million	12.5 million
Intrastate	\$4,055 million	8.2 million	31.2 million

The figures further show that 6% of all visitors into the state, visits the North West, equating to approximately 1.3 million visitors to the North West region, spending over \$1 billion per year.

Tourist figures for City of Karratha for the same period:

International Visitor Nights	Domestic Visitor Nights
436,298	1.68 million

The main reasons for visiting the City of Karratha were:

- Holiday
- Business
- Employment

Roebourne Visitors

The majority of tourists through Roebourne are said to be 'Grey Nomads', touring around the state with the caravans and campers. Many are self-sufficient, enjoying their retirement whilst others pick up short term work. The Grey Nomads are an important source of income to many parts of Western Australia and whilst accommodation is not required for the vast majority, some do travel around using B&B facilities as an alternative.

The demographic profile of a Grey Nomad appears to incorporate late-50s/early-60s upwards.

Karratha is mentioned as a 'Where to Go' on the Grey Nomad website. It does not make further mention of the attractions around the City but once in any area, these savvy travellers head straight for the Visitor Centres to obtain information on local attractions.

Whilst parts of the North West are on the backpacker trail, Roebourne is not.

Opportunities

City of Karratha has numerous tourism opportunities that Roebourne can link in with.

Cossack is a major draw for the region offering historic sites, refreshment, accommodation and beaches. The close proximity to Roebourne means that the majority of visitors to one site will, and do, visit the other. The two places are connected by history and the connections should be further enhanced.

Opportunities to upgrade the Roebourne Gaol buildings and introduce new uses, similar and separate to those provided at Cossack, will assist with increasing visitor numbers to the site.

Opportunities to attract different groups of visitors should be investigated:

- Educational programs could be established that deliver aspects of the national curriculum.
- Greater advertising utilising different media, introducing a wider audience to the area.
- Introduction of special events or become an out of town location for festivals that may happen in Karratha or across the north west
- Resident artists

10.0 Case Studies

Case studies of successful adaptive re-use projects

Gwalia Ghost Town, Leonora



Gwalia is a ghost town of a former mining settlement located approximately 2kms south of Leonora and 250 kms north of Kalgoorlie. The remnants of the former mining settlement comprising workers accommodation, guest houses, sly grog shop and commercial premises together with the more majestic brick building including the State Hotel, plus Hoover House, Mine Office and Assay Office at the top of the hill known as 'Knobs Hill' forms an interpretative centre that offers a range of facilities for local community and visitors alike.

Hoover House, the former Mine Manager's House was located at the top of the hill with clear views over the open cast mine. It is a restrained federation era house that provides a stark contrast with the tin shacks the workers lived in at the bottom of the hill. Today, Hoover House forms part of the Gwalia Museum which offers an insight into the way of life of the mine manager and the operating mine (still in operation today) as well as providing the visitor with an opportunity to stay at the house as it also functions as a three bedroom B&B. Guests have free run of the Museum site overnight and enjoy a unique experience.

The mine shacks at the bottom of the hill are all vacant but due to the retention of over 30 timber and iron buildings, the site provides a glimpse into the life of an early 20th century mine town.

The Gwalia complex offers:

- B&B accommodation, café facilities
- Museum and interpretation
- Provides context and understanding through current mine operations
- Function space at Hoover House and in the mine shacks
- Exhibition space
- Example of conservation of fabric and heritage values whilst introducing new uses
- Meeting facilities
- Unique experience
- Community space

Visitor numbers for July 2017 – April 2017:	6,838
Guest staying in Hoover House as B&B:	361

Visitor types:	Grey nomads on the tour of the goldfields and up to the north west including the Pilbara and Kimberley regions
	Relatives of former miners
	International and national tourists
	Families
	Young independent travellers
	Local residents

Busselton Court House Complex



Busselton Court House complex comprises the former court, police quarters, stables and gaol.

The place has been successfully turned into an art complex providing accommodation to a number of local artists and artist groups through sensitive adaptation of the former stables to studio spaces and the former Police quarters to exhibition and studio space.

The Court House provides gallery space and a café in conjunction with interpretation of the former law enforcement use. The cells have been retained with no additional use introduced, visitors can enter the cells and close the door and experience the harsh environment of a prison cell. The stark contrast between the one person 'white cell' and the communal 'native' cell with the manacles is clearly demonstrated at Busselton.

The grounds have been landscaped and provide additional function and event space.

The Busselton Court House Complex (Art Geo Complex) is one of the major attractions for visitors to Busselton. The range of uses within the various buildings cohabit comfortably without confusing the visitor or obscuring the original function of the place.

Busselton Court House Complex offers:

- Interpretative centre
- Café
- Gallery
- Shop
- Studio space
- Accommodation for Busselton Arts Society
- Accommodation for the local dramatic society
- External function and events space in the gardens
- Opportunities for school trips, linking in with the curriculum
- Community space

Visitor numbers: 25,000 per annum

Visitor types:

- Grey nomads
- Families
- Backpackers
- School groups
- Cruise ship guests
- International and national visitors
- Local residents

Cape Naturaliste Lighthouse Precinct, Geographe Bay



The Cape Naturaliste Lighthouse forms the northernmost point of the Leeuwin-Naturaliste Ridge which is now part of the National Park. The Lighthouse started operating in 1904 and still functions with its original Fresnel lense. The site is no longer occupied by resident lighthouse keepers and their families and has become a successful tourist attraction within the southwest.

The three cottages are currently undergoing conservation and adaptive reuse works to provide new café facilities, an interpretation centre, shop and office. New children's play areas are being introduced and new facility for school groups. In recognition of the traditional owners of the site, a celebration garden has been established. The place is also available for community functions and private events such as weddings, parties and special events. Tours to the lighthouse are still provided.

As the site is related to the Cape Leeuwin lighthouse in Augusta, both of which are managed by the Margaret River Busselton Tourist Association, the readily site links in with the Augusta-Margaret River tourism opportunities, drawing people in touring the wine region and the south west coast.

Cape Naturaliste Lighthouse offers:

- Interpretative centre
- Café
- Gallery
- Shop
- Lecture room
- External function and events space on the new deck
- Opportunities for school trips, linking in with the curriculum
- Community space
- Opportunities to provide an additional venue for the Busselton festival and jazz festivals
- Walk trails

Visitor types:	Grey nomads
	Families
	Backpackers
	School groups
	Specialist groups wanting lecture facilities
	Cruise ship guests
	International and national visitors
	Local residents

11.0 Conclusion

Roebourne Gaol buildings are an important aspect of a larger complex, which together tell the story of law enforcement and incarceration in Roebourne. The buildings also tell the story of how aboriginal prisoners were treated differently to white prisoners, being used as forced labour and kept in harsher conditions. The grandeur of the buildings, together with others in the town, are reflective of the early boom times the town experienced following the discovery of resourced in the area and Roebourne becoming the administrative centre of the area. Whilst the fortunes of Roebourne changed following the establishment of alternative port facilities and the development of other administrative centres, the buildings remain as a reminder of the past.

The buildings also form a distinctive element of the Roebourne landscape. They are situated in an elevated position, with clear views from Carnarvon Terrace and Cherratta Road. They act as the draw card to passing tourists which is a feature that should be capitalised on. An opportunity now exists for the buildings to be conserved and maintained with new uses introduced that will enable them to become self-sufficient in terms of funding.

11.1. Recommendations

Site

- Undertake a feature survey of the site to capture key information including site contours, extent of fencing, extent of retaining walls, existing services
- Consideration of acquiring the Court House and Warder's Quarters (duplex building) to provide a more coherent experience for visitors
- Restoration of the Warder's Quarters (duplex building) for new use to discourage squatters and to encourage occupancy and user groups for both Warder's Quarters and the adjacent Gaoler's Quarters
- Improve approach and signage to the Gaol Precinct
- Remove cyclone fencing to provide welcoming experience to visitors and to encourage an engaging and immersive experience
- Develop self guided heritage trails with various starting points and routes to convey the different experiences of former residents

Buildings

- All buildings are to be retained
- Undertake an asbestos audit and asbestos management plan for the buildings
- All buildings are to undergo a program of conservation works
- All buildings are to have a routine maintenance programme established and implemented
- Introduction of new uses
- Provide community facilities as well as being a tourist site

Tenants

- Initiate discussions with the local community and businesses in Roebourne and Karratha for interest in long and short term leases
- Negotiation with Roebourne Art Group to remain in occupation

Promotion

- Greater advertising using different media, expanding the visitor market

12.0 Appendix

Costing prepared by BSM Consulting Quantity Surveyor

ROEBOURNE HERITAGE PRECINCT

Project: Heritage	Details: CONSERVATION WORKS
Building:	

Code	Description	Quantity	Unit	Rate	Total
	B2 1887 CELL BLOCK				135,000
	B3 1887 KITCHEN				132,000
	B4 1887 ADMINISTRATION BUILDING / POLICE QUARTERS				257,000
	B5 1896 SMALLER CELL BLOCK				105,000
	B6 ROEBOURNE GAOL				216,000
	B10 1896 GAOLER'S QUARTERS				292,000
1					1,137,000

ROEBOURNE HERITAGE PRECINCT

Project: Heritage
Building:

Details: CONSERVATION WORKS

Code	Description	Quantity	Unit	Rate	Total
------	-------------	----------	------	------	-------

B2 1887 CELL BLOCK

	Demolition Works				
1	Remove debris and vegetation from interior of each cell	76	m2	20.00	1,520
2	Remove remnant rocks/rubble/stones from Cells 1 and 2 & set aside for re-use	38	m2	40.00	1,520
3	Stabilise existing ruins of Cell 1 and 2	53	m2	150.00	7,950
4	Stabilise walls Cells 3 and 4	64	m2	100.00	6,400
5	Stabilise roof structure and roofing to Cells 3 and 4	68	m2	50.00	3,400
6	Clean existing concrete floor & shackles to cells	76	m2	50.00	3,800
7	Remove remnant paint & tar from external walls	24	m2	200.00	4,800
8	Carefully remove remnant stone, mortar and timber lintel from Cell 2 window opening		Item		300
9	Remove existing roof to Cell 3 including temporary steel tube holding down anchors	30	m2	60.00	1,800
10	Remove corrugated sheeting covering Cell 3 window including removing props and lintel		Item		200
11	Remove timber frame and supports around Cell 3 door opening		Item		200
12	Remove existing render repairs around Cells 3 & 4 window lintels externally	4	m	100.00	400
13	Remove mud trails around timber frame of Cell 3 bottom window		Item		100
14	Remove existing skillion roof to Cell 4 including temporary steel tube holding down anchors	39	m2	60.00	2,340
	Conservation Works				
15	Remove loose and drummy render around Cell 3 rear window. check for cracks and missing joints including repointing with repair mortar mix and reinstating render with repair render mix		Item		250
16	Repoint and fill cracks to Cell 3 window sill		Item		200
17	Remove timber support to Cell 3 rear wall window and replace timber lintel if required with salvaged / reclaimed timber		Item		500
18	Remove loose rocks / rubble / stones from top of Cells 1 and 2 walls, door and window reveals and cap top of walls with mortar mix	39	m	180.00	7,020
19	Repoint missing / eroded mortar joints with mortar repair mix	114	m2	220.00	25,080
20	Remove exposed rusted anchor rods from top of wall & fill in anchor holes with mortar to match existing	2	No	75.00	150
21	Carefully remove loose and drummy internal render to Cells 1 and 2 & repoint cracks and missing joints with repair mortar mix and missing render with repair render mix (25% wall area allowed)	23	m2	240.00	5,520
22	Repair existing crack in Cells 1 & 2 south wall	7	m	400.00	2,800
23	Carefully repair and reinstate north-east corner of cell 1 with salvaged rubble / stone. Corners to be reinforced using suitable stone quoins to match original	3	m	450.00	1,350
24	Insert new timber lintel using reclaimed timber to front wall window opening to Cell 2 including repointing and filling gaps in stonework with repair mortar mix and salvaged rubble / stone from site		Item		1,000

ROEBOURNE HERITAGE PRECINCT

Project: Heritage
Building:

Details: CONSERVATION WORKS

Code	Description	Quantity	Unit	Rate	Total
------	-------------	----------	------	------	-------

B2 1887 CELL BLOCK

(Continued)

25	Fill in gaps to top of Cell 2 door reveal with repair mortar mix and salvaged rubble / stone from site		Item		300
26	Remove rusted steel grille and timber panel above Cell 3 door and reinstate timber lintel		Item		800
27	Splice existing timber wall plate above Cell 3 door opening, remove and replace split wall plate with salvaged / reclaimed timber to match existing		Item		500
28	New galvanised corrugated roof to Cell 3 including flashings and replacing damaged timber roof framing with reclaimed / salvaged of similar species and dimensions timber	30	m2	200.00	6,000
29	Remove timber block pieces between Cell 3 rafters and install battens to suit new roofing	30	m2	50.00	1,500
30	Remove and replace damaged timber wall plate to Cell 3	10	m	60.00	600
31	Remove loose rubble / stones along top of Cell 3 wall, reinstate and fill in gaps between top of wall and roof structure with salvaged rubble / stones from site and repair mortar mix. Repair render with repair render mix	20	m	220.00	4,400
32	Check and refix all Cell 3 steel and timber collar ties		Item		200
33	Replace missing Cell 3 collar ties		Item		200
34	Allow for holding down anchors, straps and battens to Cell 3		Item		300
35	Insert new timber lintel using reclaimed timber to rear wall window opening to Cell 3		Item		600
36	Carefully repair and reinstate render at high level of Cell 2/3 gable wall	4	m2		240
37	Remove surface rust from Cells 3 & 4 window grilles and treat with Penetrol	5	m2	100.00	500
38	Patch repair Cells 3 & 4 cracked window sill and re-render with render repair mix	2	m	100.00	200
39	New galvanised corrugated skillion roof to Cell 4 including flashings, holding down anchors, straps and battens	39	m2	160.00	6,240
40	Remove cracked and drummy cement render to Cell 4 windows and reveals and repair with render repair mix to match existing cement render		Item		300
					101,480
	On-costs				
41	Allowance for builder's preliminaries		Item		15,520
42	Allowance for collecting samples		Item		Included
43	Allowance for design contingency		Item		6,000
44	Allowance for construction contingency		Item		12,000
45	Professional fees and disbursements		Item		Excluded
46	Escalation beyond July 2017		Item		Excluded
47	Goods and Services Tax		Item		Excluded
					135,000

135,000

ROEBOURNE HERITAGE PRECINCT

Project: Heritage
Building:

Details: CONSERVATION WORKS

Code	Description	Quantity	Unit	Rate	Total
------	-------------	----------	------	------	-------

B3 1887 KITCHEN

	Demolition Works				
48	Remove debris from interior	54	m2	20.00	1,080
49	Remove skillion roofed timber framed lean-to addition	13	m2	100.00	1,300
50	Remove water tank		Item		400
51	Remove concrete slab and retaining wall	4	m2	80.00	320
52	Remove deteriorated timber windows including iron grilles	7	No	400.00	2,800
53	Remove remnant ceiling for day room	29	m2	40.00	1,160
54	Carefully deconstruct timber roof framing and timber boarded ceiling & record roof form and roof pitch. Remove existing roof sheeting and flashings, sort and inspect timber roof framing, salvage sound timber for re-use and discard deteriorated timber	73	m2	120.00	8,760
55	Clear vegetation and debris from former garage / mechanic	78	m2	20.00	1,560
56	Remove steel posts from former garage / mechanic		Item		300
	Conservation Works				
57	Stabilise kitchen and adjoining day room		Item		7,500
58	Reconstruct roof using salvaged and recycled timber of similar species to match original and re-roof with galv. corrugated roof sheeting including flashings, holding down anchors, straps and battens	73	m2	300.00	21,900
59	Reconstruct timber boarded ceiling to kitchen	25	m2	180.00	4,500
60	Retain built-in stove and baking ovens. Remove all debris and clean all surfaces. Coat all iron elements with Penetrol protective coating		Item		400
61	Repoint crack in kitchen brickwork	4	m	400.00	1,600
62	Reconstruct kitchen and day room timber framed windows, associated flashings and iron grilles to match original design using salvaged / recycled timber. Coat iron grilles with Penetrol	8	No	3,000.00	24,000
63	Install storm shutters to kitchen and day room windows	8	No	1,000.00	8,000
64	Reconstruct timber boarded ceiling to day room with galv. corrugated iron ceiling lining with "ripple" profile to match original	29	m2	220.00	6,380
65	Reconstruct timber doors to day room to match original design including new hardware to suit period of the building		Item		3,500
66	Remove flaky paint to day room & repaint with lime based paint / limewash to internal wall surfaces	52	m2	80.00	4,160
					99,620
	On-costs				
67	Allowance for builder's preliminaries		Item		15,380
68	Allowance for collecting samples		Item		Included
69	Allowance for design contingency		Item		5,500
70	Allowance for construction contingency		Item		11,500
71	Professional fees and disbursements		Item		Excluded
72	Escalation beyond July 2017		Item		Excluded

ROEBOURNE HERITAGE PRECINCT

Project: Heritage
Building:

Details: CONSERVATION WORKS

Code	Description	Quantity	Unit	Rate	Total
------	-------------	----------	------	------	-------

B3 1887 KITCHEN

(Continued)

73	Goods and Services Tax		Item		Excluded
					132,000

132,000

ROEBOURNE HERITAGE PRECINCT

Project: Heritage
Building:

Details: CONSERVATION WORKS

Code	Description	Quantity	Unit	Rate	Total
------	-------------	----------	------	------	-------

B4 1887 ADMINISTRATION BUILDING / POLICE QUARTERS

	Demolition Works				
74	Remove all debris and material from collapsed roof over existing kitchen block including salvaging sound timber for re-use		Item		500
75	Remove existing corrugated roofing from main block, verandah & store	195	m2	80.00	15,600
76	Remove asbestos ceiling and wall linings	57	m2	100.00	5,700
77	Remove all debris and vegetation around the site and adjacent to buildings	464	m2	30.00	13,920
78	Remove timber framed walls to covered link	28	m2	50.00	1,400
79	Remove roof to covered link	36	m2	60.00	2,160
80	Remove floor covering to covered link	24	m2	40.00	960
81	Remove floor coverings to laundry, kitchen, main block & store	100	m2	40.00	4,000
82	Remove air conditioning unit	2	No	150.00	300
83	Remove redundant services		Item		500
84	Remove all surface mounted external lighting including patch repair of holes with repair mortar and / or salvaged rubble to match existing stonework		Item		1,000
85	Demolish external toilet block, associated covered link way , retaining wall and landscaping	33	m2	120.00	3,960
86	Demolish concrete slab	10	m2	60.00	600
87	Remove perimeter fencing	47	m	40.00	1,880
88	Carefully remove verandah framing to main block including salvaging timber rafters, posts and beams for re-use	69	m2	80.00	5,520
89	Remove external aluminium window grille and patch holes	3	No	150.00	450
90	Remove existing built-in cabinetwork, sink, troughs and stove to kitchen block		Item		450
91	Clean out fireplace to kitchen block & remove all debris	2	No	200.00	400
92	Remove infill panel to door opening in main block central room		Item		50
	Conservation Works				
93	Stabilise existing building and verandah on east and north-east elevation of main block		Item		3,000
94	New hip roof over kitchen block including timber framed structure, tie down anchors & straps, Galv. corrugated iron roof sheeting , flashings and apron flashing around chimney	42	m2	300.00	12,600
95	Re-roof main block, verandah & store with galv. corrugated iron roof sheeting including anticon insulation, flashings, gutters and downpipes	126	m2	220.00	27,720
96	Remove existing paint layers for main block external walls	123	m2	190.00	23,370
97	Re-point missing / eroded joints in external walls with mortar repair mix (50% allowed)	92	m2	210.00	19,320
98	Gravel filled air trench to base of external walls	83	m	150.00	12,450
99	Stabilise and repoint chimney to kitchen block and remove paint above roof level		Item		2,400

ROEBOURNE HERITAGE PRECINCT

Project: Heritage
Building:

Details: CONSERVATION WORKS

Code	Description	Quantity	Unit	Rate	Total
------	-------------	----------	------	------	-------

B4 1887 ADMINISTRATION BUILDING / POLICE QUARTERS

(Continued)

100	Cap kitchen block chimney with galvanised flashing		Item		200
101	Remove and replace termite damaged timber sash window and provide new hardware, timber sill and architrave	3	No	2,000.00	6,000
102	Remove and replace termite damaged timber door and overdoor panel including providing new hardware, timber sill and architrave	1	No	1,800.00	1,800
103	Prepare existing door and repaint including replacing hardware	2	No	600.00	1,200
104	Stitch crack above kitchen block windows with Helefix "Helibar"		Item		250
105	Remove flaky paint to kitchen block & repaint with lime based paint / limewash to internal wall surfaces	82	m2	80.00	6,560
106	Reinstate timber framed door to main block central room including hardware	1	No	1,800.00	1,800
107	Remove infill panel to main block window opening	2	No	50.00	100
108	Reinstate timber framed sash window to main block including hardware	2	No	2,000.00	4,000
109	Prepare and repaint existing timber sash window to main block including ensuring window is operable	2	No	400.00	800
110	Prepare and repaint existing timber framed door to main block including replacing all door hardware	5	No	600.00	3,000
111	Refix loose ceiling lining to store and repaint	7	m2	80.00	560
112	Carefully remove loose and drummy internal render, check existing stone wall for cracks and missing joints. Repoint cracks and missing joints with repair mortar mix and reinstate areas of removed render with repair render mix	30	m2	240.00	7,200
113	Repaint existing store door	1	No	250.00	250
					193,930
	On-costs				
114	Allowance for builder's preliminaries		Item		29,070
115	Allowance for collecting samples		Item		Included
116	Prepare sample panel of paint removal using steam cleaning technique		Item		Included
117	Allowance for design contingency		Item		11,000
118	Allowance for construction contingency		Item		23,000
119	Professional fees and disbursements		Item		Excluded
120	Escalation beyond July 2017		Item		Excluded
121	Goods and Services Tax		Item		Excluded
					257,000

257,000

ROEBOURNE HERITAGE PRECINCT

Project: Heritage
Building:

Details: CONSERVATION WORKS

Code	Description	Quantity	Unit	Rate	Total
------	-------------	----------	------	------	-------

B5 1896 SMALLER CELL BLOCK

	Demolition Works				
122	Remove all machinery displays and relocate to new location		Item		1,000
123	Remove wall mounted retractable water hose and patch fixing holes with repair mortar mix		Item		200
124	Remove all low shrubs, flowering plants and grass around the site	293	m2	20.00	5,860
125	Remove paint from all painted quoins, lintels & copings using approved removal method	57	m2	200.00	11,400
126	Remove all debris and loose furniture from cells and courtyard		Item		500
127	Carefully remove internal rendered wall and slab to Cells 3 & 4 and patch repair interface between internal wall and stone wall with repair mortar and salvaged rubble as required		Item		2,000
128	Remove paint for internal courtyard wall surfaces using approved paint removal method	132	m2	200.00	26,400
129	Remove stainless steel trough to enclosed courtyard and associated services		Item		400
130	Remove plumbing and fittings to enclosed courtyard shower area		Item		400
131	Remove timber partition to enclosed courtyard	9	m2	40.00	360
	Conservation Works				
132	Prepare and apply protective coating to timber doors and frames (both sides msd)	17	m2	40.00	680
133	Prepare and apply protective coating to timber storm shutters (both sides msd)	21	m2	40.00	840
134	Rub back and remove paint finish from iron grilles, apply anti-rust treatment and coat with Penetrol (one side msd)	37	m2	70.00	2,590
135	Rub back and remove flaky paint from cell walls and apply lime wash	240	m2	80.00	19,200
136	Conserve flat stone and rendered roof cover	5	m2	100.00	500
137	Rub back, prepare and paint corrugated iron ceiling lining to cells	53	m2	50.00	2,650
138	Conserve timber louvres to high level circular windows, apply protective coating and install powder coated stainless steel mesh to internal face of louvres	2	No	1,500.00	3,000
139	Replace damage parapet and counter flashing	4	m	180.00	720
140	Repoint crack at apex of arched opening above entrance to courtyard		Item		300
					79,000
	On-costs				
141	Allowance for builder's preliminaries		Item		12,000
142	Allowance for collecting samples		Item		Included
143	Prepare sample panel of paint removal using steam cleaning technique		Item		Included
144	Allowance for design contingency		Item		4,500
145	Allowance for construction contingency		Item		9,500
146	Professional fees and disbursements		Item		Excluded

ROEBOURNE HERITAGE PRECINCT

Project: Heritage	Details: CONSERVATION WORKS
Building:	

Code	Description	Quantity	Unit	Rate	Total
------	-------------	----------	------	------	-------

B5 1896 SMALLER CELL BLOCK

(Continued)

147	Escalation beyond July 2017		Item		Excluded
148	Goods and Services Tax		Item		Excluded
					105,000

105,000

ROEBOURNE HERITAGE PRECINCT

Project: Heritage
Building:

Details: CONSERVATION WORKS

Code	Description	Quantity	Unit	Rate	Total
------	-------------	----------	------	------	-------

B6 ROEBOURNE GAOL

	Demolition Works				
149	Remove all machinery displays and relocate to new location		Item		2,000
150	Remove geological displays and signage and relocate to new location		Item		500
151	Remove and store interpretive / heritage trail signage for reinstatement in new location		Item		500
152	Remove all low shrubs, flowering plants & grass around the site	1,636	m2	20.00	32,720
153	Remove cyclone fencing	139	m	40.00	5,560
154	Remove paint from all painted quoins, lintels & copings using approved removal method	136	m2	200.00	27,200
155	Remove display cases and artefacts in Wings 02 & 03. Curate photographs and artefacts and store safely for re-use		Item		1,000
156	Remove all debris and loose furniture from cells wings and courtyard		Item		500
157	Remove all air conditioning and condensor units, associated ducting and wiring	4	No	150.00	600
158	Remove existing timber counter, display cabinets, loose furniture and shelving from Wing 04		Item		500
159	Remove Wing 04 toilet complete including all fittings, fixtures, partition, vanity, tiled floor and skirting		Item		2,000
160	Remove timber framed external door to Wing 04		Item		150
161	Modify existing door opening in Wing 04 to form window opening and install high level window including timber framed shutters and iron grilles, all to match existing	1	No	4,000.00	4,000
162	Remove floor tiles to Wing 04 to expose concrete slab	16	m2	60.00	960
163	Remove surface mounted signage to Wing 04		Item		200
164	Remove partitions to courtyard toilets	11	m2	40.00	440
165	Remove tiled surfaces and fittings to courtyard toilets		Item		600
166	Remove cast iron cover to original drainage trench in courtyard	14	m	100.00	1,400
167	Remove black paint from courtyard walls using approved removal method	45	m2	200.00	9,000
168	Removal of white paint to courtyard walls included elsewhere		Note		
169	Remove stainless steel sinks to courtyard including associated plumbing		Item		400
170	Remove shade cloth to courtyard	114	m2	30.00	3,420
171	Remove surface mounted light fittings and conduits above entry to each wing and make good		Item		500
	Conservation Works				
172	Prepare and apply protective coating to ledged and braced timber doors and frames (both sides msd)	17	m2	40.00	680
173	Prepare and apply protective coating to timber storm shutters (both sides msd)	48	m2	40.00	1,920
174	Rub back and remove paint finish from iron grilles, apply anti-rust treatment and coat with Penetrol (one side msd)	48	m2	70.00	3,360

ROEBOURNE HERITAGE PRECINCT

Project: Heritage
Building:

Details: CONSERVATION WORKS

Code	Description	Quantity	Unit	Rate	Total
------	-------------	----------	------	------	-------

B6 ROEBOURNE GAOL

(Continued)

175	Carefully rub down, remove paint, apply anti-rust treatment and treat shackles with Penetrol		Item		500
176	Rub back and remove flaky paint from internal wall surfaces and apply lime wash	400	m2	80.00	32,000
177	Rub back, prepare and paint corrugated iron ceiling lining to cells	200	m2	50.00	10,000
178	Conserve timber louvres to high level circular windows, apply protective coating and install powder coated stainless steel mesh to internal face of louvres	4	No	1,500.00	6,000
179	Carefully remove internal walls and slab to Wing 01 and patch repair interface between internal wall and stone walls with repair mortar and salvaged rubble as required		Item		1,000
180	Carefully remove internal walls and slab to Wing 02 and patch repair interface between internal wall and stone walls with repair mortar and salvaged rubble as required		Item		1,000
181	Prepare and apply protective coating to large double doors and frame (both sides msd)	13	m2	40.00	520
182	Remove deteriorated portion of lintel to large double doors and splice in sound timber from salvaged / recycled timber of same species and size		Item		800
183	Paint existing internal walls to segregation areas of wing 04	90	m2	40.00	3,600
184	Rub back, prepare steel roof frames to courtyard and apply protective treatment and paint finish	114	m2	60.00	6,840
					162,370
	On-costs				
185	Allowance for builder's preliminaries		Item		24,630
186	Allowance for collecting samples		Item		Included
187	Prepare sample panel of paint removal using steam cleaning technique		Item		Included
188	Allowance for design contingency		Item		9,500
189	Allowance for construction contingency		Item		19,500
190	Professional fees and disbursements		Item		Excluded
191	Escalation beyond July 2017		Item		Excluded
192	Goods and Services Tax		Item		Excluded
					216,000

216,000

ROEBOURNE HERITAGE PRECINCT

Project: Heritage
Building:

Details: CONSERVATION WORKS

Code	Description	Quantity	Unit	Rate	Total
------	-------------	----------	------	------	-------

B10 1896 GAOLER'S QUARTERS

	Demolition Works				
193	Remove all debris around the building, verandah, internal rooms and corridor	543	m2	20.00	10,860
194	Remove all air conditioning and condensor units & associated ducting	6	No	150.00	900
195	Remove notice boards to corridor		Item		100
196	Remove plastic screen from main entrance		Item		200
197	Works to toilet addition subject to proposed new use & included elsewhere		Note		
198	Works to existing concrete ramp and tubular steel balustrade on verandah subject to proposed new use and included elsewhere		Note		
199	Remove existing security screen door to kitchen block		Item		200
200	Remove built-in cabinetwork and sink to kitchen block		Item		500
	Conservation Works				
201	Carefully clean all exposed stone walls using steam cleaning method	190	m2	200.00	38,000
202	Carefully clean concrete slab using steam cleaning method	321	m2	150.00	48,150
203	Remove and replace roofing with Galv. corrugated iron roof sheeting and roof flashings. Inspect all holding down anchors and straps and replace if missing or damaged (msd on plan)	396	m2	220.00	87,120
204	Rub back existing cast iron verandah posts, apply anti-rust protective treatment and paint finish	35	m	60.00	2,100
205	Rub back exposed timber roof framing to verandah and apply paint finish including anti-rust treatment to existing bolts (msd on plan)	229	m2	40.00	9,160
206	Remove rope barriers between verandah posts and reinstate timber balustrade to match original including paint finish	21	m	1,000.00	21,000
207	New light fittings to verandah		Item		2,000
					220,290
	On-costs				
208	Allowance for builder's preliminaries		Item		32,710
209	Allowance for collecting samples		Item		Included
210	Prepare sample panel of paint removal using steam cleaning technique		Item		Included
211	Allowance for design contingency		Item		12,500
212	Allowance for construction contingency		Item		26,500
213	Professional fees and disbursements		Item		Excluded
214	Escalation beyond July 2017		Item		Excluded
215	Goods and Services Tax		Item		Excluded
					292,000

292,000

ROEBOURNE HERITAGE PRECINCT

Project: Heritage
Building:

Details: CONSERVATION & NEW USE WORKS

Code	Description	Quantity	Unit	Rate	Total
	B2 1887 CELL BLOCK - INTERPRETATION				151,000
	B3 1887 KITCHEN - OCCASIONAL USE				203,000
	B3 1887 KITCHEN - OCCASIONAL USE WITH SKILLION ROOF & OUTDOOR AREA				240,000
	B4 1887 ADMINISTRATION BUILDING / POLICE QUARTERS - EDUCATION				543,000
	B4 1887 ADMINISTRATION BUILDING / POLICE QUARTERS - ACCOMMODATION				538,000
	B5 1896 SMALLER CELL BLOCK - OCCASIONAL USE				112,000
	B5 1896 SMALLER CELL BLOCK - INFORMATION CENTRE				184,000
	B6 ROEBOURNE GAOL - CONSERVATION				216,000
	B10 1896 GAOLER'S QUARTERS - SELF CATERING ACCOMMODATION				471,000
	B10 1896 GAOLER'S QUARTERS - BED & BREAKFAST ACCOMMODATION				615,000

ROEBOURNE HERITAGE PRECINCT

Project: Heritage
Building:

Details: CONSERVATION & NEW USE WORKS

Code	Description	Quantity	Unit	Rate	Total
------	-------------	----------	------	------	-------

B2 1887 CELL BLOCK - INTERPRETATION

	Demolition Works				
1	Remove debris and vegetation from interior of each cell	76	m2	20.00	1,520
2	Remove remnant rocks/rubble/stones from Cells 1 and 2 & set aside for re-use	38	m2	40.00	1,520
3	Stabilise existing ruins of Cell 1 and 2	53	m2	150.00	7,950
4	Stabilise walls Cells 3 and 4	64	m2	100.00	6,400
5	Stabilise roof structure and roofing to Cells 3 and 4	68	m2	50.00	3,400
6	Clean existing concrete floor & shackles to cells	76	m2	50.00	3,800
7	Remove remnant paint & tar from external walls	24	m2	200.00	4,800
8	Carefully remove remnant stone, mortar and timber lintel from Cell 2 window opening		Item		300
9	Remove existing roof to Cell 3 including temporary steel tube holding down anchors	30	m2	60.00	1,800
10	Remove corrugated sheeting covering Cell 3 window including removing props and lintel		Item		200
11	Remove timber frame and supports around Cell 3 door opening		Item		200
12	Remove existing render repairs around Cells 3 & 4 window lintels externally	4	m	100.00	400
13	Remove mud trails around timber frame of Cell 3 bottom window		Item		100
14	Remove existing skillion roof to Cell 4 including temporary steel tube holding down anchors	39	m2	60.00	2,340
	Conservation Works				
15	Remove loose and drummy render around Cell 3 rear window. check for cracks and missing joints including repointing with repair mortar mix and reinstating render with repair render mix		Item		250
16	Repoint and fill cracks to Cell 3 window sill		Item		200
17	Remove timber support to Cell 3 rear wall window and replace timber lintel if required with salvaged / reclaimed timber		Item		500
18	Remove loose rocks / rubble / stones from top of Cells 1 and 2 walls, door and window reveals and cap top of walls with mortar mix	39	m	180.00	7,020
19	Repoint missing / eroded mortar joints with mortar repair mix	114	m2	220.00	25,080
20	Remove exposed rusted anchor rods from top of wall & fill in anchor holes with mortar to match existing	2	No	75.00	150
21	Carefully remove loose and drummy internal render to Cells 1 and 2 & repoint cracks and missing joints with repair mortar mix and missing render with repair render mix (25% wall area allowed)	23	m2	240.00	5,520
22	Repair existing crack in Cells 1 & 2 south wall	7	m	400.00	2,800
23	Carefully repair and reinstate north-east corner of cell 1 with salvaged rubble / stone. Corners to be reinforced using suitable stone quoins to match original	3	m	450.00	1,350
24	Insert new timber lintel using reclaimed timber to front wall window opening to Cell 2 including repointing and filling gaps in stonework with repair mortar mix and salvaged rubble / stone from site		Item		1,000

ROEBOURNE HERITAGE PRECINCT

Project: Heritage
Building:

Details: CONSERVATION & NEW USE WORKS

Code	Description	Quantity	Unit	Rate	Total
------	-------------	----------	------	------	-------

B2 1887 CELL BLOCK - INTERPRETATION

(Continued)

25	Fill in gaps to top of Cell 2 door reveal with repair mortar mix and salvaged rubble / stone from site		Item		300
26	Remove rusted steel grille and timber panel above Cell 3 door and reinstate timber lintel		Item		800
27	Splice existing timber wall plate above Cell 3 door opening, remove and replace split wall plate with salvaged / reclaimed timber to match existing		Item		500
28	New galvanised corrugated roof to Cell 3 including flashings and replacing damaged timber roof framing with reclaimed / salvaged of similar species and dimensions timber	30	m2	200.00	6,000
29	New galvanised corrugated roof to Cell 4 including flashings and timber roof framing to match Cell 3 using reclaimed / salvaged of similar species and dimensions timber	30	m2	350.00	10,500
30	Remove timber block pieces between Cell 3 rafters and install battens to suit new roofing	59	m2	50.00	2,950
31	Remove and replace damaged timber wall plate to Cell 3	10	m	60.00	600
32	Remove loose rubble / stones along top of Cell 3 wall, reinstate and fill in gaps between top of wall and roof structure with salvaged rubble / stones from site and repair mortar mix. Repair render with repair render mix	20	m	220.00	4,400
33	Check and refix all Cell 3 steel and timber collar ties		Item		200
34	Replace missing Cell 3 collar ties		Item		200
35	Allow for holding down anchors, straps and battens to Cell 3		Item		300
36	Insert new timber lintel using reclaimed timber to rear wall window opening to Cell 3		Item		600
37	Carefully repair and reinstate render at high level of Cell 2/3 gable wall	4	m2		240
38	Remove surface rust from Cells 3 & 4 window grilles and treat with Penetrol	5	m2	100.00	500
39	Patch repair Cells 3 & 4 cracked window sill and re-render with render repair mix	2	m	100.00	200
40	Remove cracked and drummy cement render to Cell 4 windows and reveals and repair with render repair mix to match existing cement render		Item		300
41	Prepare and repaint internal walls to Cells 3 & 4 with two tone colour scheme for interpretation purposes	87	m2	60.00	5,220
42	Carefully cut slots in wall to allow for run-off to slabs		Item		1,600
					114,010
	On-costs				
43	Allowance for builder's preliminaries		Item		16,990
44	Allowance for collecting samples		Item		Included
45	Allowance for design contingency		Item		6,500
46	Allowance for construction contingency		Item		13,500
47	Professional fees and disbursements		Item		Excluded
48	Escalation beyond July 2017		Item		Excluded

ROEBOURNE HERITAGE PRECINCT

Project: Heritage	Details: CONSERVATION & NEW USE WORKS
Building:	

Code	Description	Quantity	Unit	Rate	Total
------	-------------	----------	------	------	-------

B2 1887 CELL BLOCK - INTERPRETATION

(Continued)

49	Goods and Services Tax		Item		Excluded
					151,000

151,000

ROEBOURNE HERITAGE PRECINCT

Project: Heritage
Building:

Details: CONSERVATION & NEW USE WORKS

Code	Description	Quantity	Unit	Rate	Total
------	-------------	----------	------	------	-------

B3 1887 KITCHEN - OCCASIONAL USE

	Demolition Works				
50	Remove debris from interior	54	m2	20.00	1,080
51	Remove skillion roofed timber framed lean-to addition	13	m2	100.00	1,300
52	Remove water tank		Item		400
53	Remove concrete slab and retaining wall	4	m2	80.00	320
54	Remove deteriorated timber windows including iron grilles	7	No	400.00	2,800
55	Remove remnant ceiling for day room	29	m2	40.00	1,160
56	Carefully deconstruct timber roof framing and timber boarded ceiling & record roof form and roof pitch. Remove existing roof sheeting and flashings , sort and inspect timber roof framing, salvage sound timber for re-use and discard deteriorated timber	73	m2	120.00	8,760
57	Clear vegetation and debris from former garage / mechanic	78	m2	20.00	1,560
58	Remove steel posts from former garage / mechanic		Item		300
	Conservation Works				
59	Stabilise kitchen and adjoining day room		Item		7,500
60	Reconstruct roof using salvaged and recycled timber of similar species to match original and re-roof with galv. corrugated roof sheeting including flashings, holding down anchors, straps and battens	73	m2	300.00	21,900
61	Reconstruct timber boarded ceiling to kitchen	25	m2	180.00	4,500
62	Retain built-in stove and baking ovens. Remove all debris and clean all surfaces. Coat all iron elements with Penetrol protective coating		Item		400
63	Repoint crack in kitchen brickwork	4	m	400.00	1,600
64	Reconstruct kitchen and day room timber framed windows, associated flashings and iron grilles to match original design using salvaged / recycled timber. Coat iron grilles with Penetrol	8	No	3,000.00	24,000
65	Install storm shutters to kitchen and day room windows	8	No	1,000.00	8,000
66	Reconstruct timber boarded ceiling to day room with galv. corrugated iron ceiling lining with "ripple" profile to match original	29	m2	220.00	6,380
67	Reconstruct timber doors to day room to match original design including new hardware to suit period of the building		Item		3,500
68	Remove flaky paint to day room & repaint with lime based paint / limewash to internal wall surfaces	52	m2	80.00	4,160
69	2000x1000 table	3	No	2,500.00	7,500
70	2000 long bench seat	6	No	1,500.00	9,000
71	Reconstruct timber framed ledged & braced door including timber lintel	4	No	2,300.00	9,200
72	Reconstruct timber windows including iron grilles and timber lintel	8	No	3,500.00	28,000
					153,320
	On-costs				
73	Allowance for builder's preliminaries		Item		22,680
74	Allowance for collecting samples		Item		Included

ROEBOURNE HERITAGE PRECINCT

Project: Heritage
Building:

Details: CONSERVATION & NEW USE WORKS

Code	Description	Quantity	Unit	Rate	Total
------	-------------	----------	------	------	-------

B3 1887 KITCHEN - OCCASIONAL USE

(Continued)

75	Allowance for design contingency		Item		8,500
76	Allowance for construction contingency		Item		18,500
77	Professional fees and disbursements		Item		Excluded
78	Escalation beyond July 2017		Item		Excluded
79	Goods and Services Tax		Item		Excluded
					203,000

203,000

ROEBOURNE HERITAGE PRECINCT

Project: Heritage
Building:

Details: CONSERVATION & NEW USE WORKS

Code	Description	Quantity	Unit	Rate	Total
------	-------------	----------	------	------	-------

B3 1887 KITCHEN - OCCASIONAL USE WITH SKILLION ROOF & OUTDOOR AREA

	Demolition Works				
80	Remove debris from interior	54	m2	20.00	1,080
81	Remove skillion roofed timber framed lean-to addition	13	m2	100.00	1,300
82	Remove water tank		Item		400
83	Remove concrete slab and retaining wall	4	m2	80.00	320
84	Remove deteriorated timber windows including iron grilles	7	No	400.00	2,800
85	Remove remnant ceiling for day room	29	m2	40.00	1,160
86	Carefully deconstruct timber roof framing and timber boarded ceiling & record roof form and roof pitch. Remove existing roof sheeting and flashings , sort and inspect timber roof framing, salvage sound timber for re-use and discard deteriorated timber	73	m2	120.00	8,760
87	Clear vegetation and debris from former garage / mechanic	78	m2	20.00	1,560
88	Remove steel posts from former garage / mechanic		Item		300
	Conservation Works				
89	Stabilise kitchen and adjoining day room		Item		7,500
90	Reconstruct roof using salvaged and recycled timber of similar species to match original and re-roof with galv. corrugated roof sheeting including flashings, holding down anchors, straps and battens	73	m2	300.00	21,900
91	Reconstruct timber boarded ceiling to kitchen	25	m2	180.00	4,500
92	Retain built-in stove and baking ovens. Remove all debris and clean all surfaces. Coat all iron elements with Penetrol protective coating		Item		400
93	Repoint crack in kitchen brickwork	4	m	400.00	1,600
94	Reconstruct kitchen and day room timber framed windows, associated flashings and iron grilles to match original design using salvaged / recycled timber. Coat iron grilles with Penetrol	8	No	3,000.00	24,000
95	Install storm shutters to kitchen and day room windows	8	No	1,000.00	8,000
96	Reconstruct timber boarded ceiling to day room with galv. corrugated iron ceiling lining with "ripple" profile to match original	29	m2	220.00	6,380
97	Reconstruct timber doors to day room to match original design including new hardware to suit period of the building		Item		3,500
98	Remove flaky paint to day room & repaint with lime based paint / limewash to internal wall surfaces	52	m2	80.00	4,160
99	2000x1000 table	3	No	2,500.00	7,500
100	2000 long bench seat	6	No	1,500.00	9,000
101	Reconstruct timber framed ledged & braced door including timber lintel	4	No	2,300.00	9,200
102	Reconstruct timber windows including iron grilles and timber lintel	8	No	3,500.00	28,000
103	External paved area	78	m2	100.00	7,800
104	Skillion roof including support posts	78	m2	250.00	19,500
					180,620
	On-costs				

ROEBOURNE HERITAGE PRECINCT

Project: Heritage	Details: CONSERVATION & NEW USE WORKS
Building:	

Code	Description	Quantity	Unit	Rate	Total
------	-------------	----------	------	------	-------

B3 1887 KITCHEN - OCCASIONAL USE WITH SKILLION ROOF & OUTDOOR AREA

(Continued)

105	Allowance for builder's preliminaries		Item		27,380
106	Allowance for collecting samples		Item		Included
107	Allowance for design contingency		Item		10,500
108	Allowance for construction contingency		Item		21,500
109	Professional fees and disbursements		Item		Excluded
110	Escalation beyond July 2017		Item		Excluded
111	Goods and Services Tax		Item		Excluded
					240,000

240,000

ROEBOURNE HERITAGE PRECINCT

Project: Heritage
Building:

Details: CONSERVATION & NEW USE WORKS

Code	Description	Quantity	Unit	Rate	Total
------	-------------	----------	------	------	-------

B4 1887 ADMINISTRATION BUILDING / POLICE QUARTERS - EDUCATION

	Demolition Works				
112	Remove all debris and material from collapsed roof over existing kitchen block including salvaging sound timber for re-use		Item		500
113	Remove existing corrugated roofing from main block, verandah & store	195	m2	80.00	15,600
114	Remove asbestos ceiling and wall linings	57	m2	100.00	5,700
115	Remove all debris and vegetation around the site and adjacent to buildings	464	m2	30.00	13,920
116	Remove timber framed walls to covered link	28	m2	50.00	1,400
117	Remove roof to covered link	36	m2	60.00	2,160
118	Remove floor covering to covered link	24	m2	40.00	960
119	Remove floor coverings to laundry, kitchen, main block & store	100	m2	40.00	4,000
120	Remove air conditioning unit	2	No	150.00	300
121	Remove redundant services		Item		500
122	Remove all surface mounted external lighting including patch repair of holes with repair mortar and / or salvaged rubble to match existing stonework		Item		1,000
123	Demolish external toilet block, associated covered link way , retaining wall and landscaping	33	m2	120.00	3,960
124	Demolish concrete slab	10	m2	60.00	600
125	Remove perimeter fencing	47	m	40.00	1,880
126	Carefully remove verandah framing to main block including salvaging timber rafters, posts and beams for re-use	69	m2	80.00	5,520
127	Remove external aluminium window grille and patch holes	3	No	150.00	450
128	Remove existing built-in cabinetwork, sink, troughs and stove to kitchen block		Item		450
129	Clean out fireplace to kitchen block & remove all debris	2	No	200.00	400
130	Remove infill panel to door opening in main block central room		Item		50
	Conservation Works				
131	Stabilise existing building and verandah on east and north-east elevation of main block		Item		3,000
132	New hip roof over kitchen block including timber framed structure, tie down anchors & straps, Galv. corrugated iron roof sheeting , flashings and apron flashing around chimney	42	m2	300.00	12,600
133	Re-roof main block, verandah & store with galv. corrugated iron roof sheeting including anticon insulation, flashings, gutters and downpipes	126	m2	220.00	27,720
134	Remove existing paint layers for main block external walls	123	m2	190.00	23,370
135	Re-point missing / eroded joints in external walls with mortar repair mix (50% allowed)	92	m2	210.00	19,320
136	Gravel filled air trench to base of external walls	83	m	150.00	12,450
137	Stabilise and repoint chimney to kitchen block and remove paint above roof level		Item		2,400

ROEBOURNE HERITAGE PRECINCT

Project: Heritage
Building:

Details: CONSERVATION & NEW USE WORKS

Code	Description	Quantity	Unit	Rate	Total
------	-------------	----------	------	------	-------

B4 1887 ADMINISTRATION BUILDING / POLICE QUARTERS - EDUCATION

(Continued)

138	Cap kitchen block chimney with galvanised flashing		Item		200
139	Remove and replace termite damaged timber sash window and provide new hardware, timber sill and architrave	3	No	2,000.00	6,000
140	Remove and replace termite damaged timber door and overdoor panel including providing new hardware, timber sill and architrave	1	No	1,800.00	1,800
141	Prepare existing door and repaint including replacing hardware	2	No	600.00	1,200
142	Stitch crack above kitchen block windows with Helefix "Helibar"		Item		250
143	Remove flaky paint to kitchen block & repaint with lime based paint / limewash to internal wall surfaces	82	m2	80.00	6,560
144	Reinstate timber framed door to main block central room including hardware	1	No	1,800.00	1,800
145	Remove infill panel to main block window opening	2	No	50.00	100
146	Reinstate timber framed sash window to main block including hardware	2	No	2,000.00	4,000
147	Prepare and repaint existing timber sash window to main block including ensuring window is operable	2	No	400.00	800
148	Prepare and repaint existing timber framed door to main block including replacing all door hardware	5	No	600.00	3,000
149	Refix loose ceiling lining to store and repaint	7	m2	80.00	560
150	Carefully remove loose and drummy internal render, check existing stone wall for cracks and missing joints. Repoint cracks and missing joints with repair mortar mix and reinstate areas of removed render with repair render mix	30	m2	240.00	7,200
151	Repaint existing store door	1	No	250.00	250
152	Retain existing stone steps from carpark		Item	500.00	
153	Provide well drained compacted ground footpath from carpark to kitchen	14	m2	80.00	1,120
154	Provide well drained compacted ground footpath from base of stone steps of kitchen to link	13	m2	80.00	1,040
155	Ceiling insulation to laundry / kitchen and main block	100	m2	25.00	2,500
156	Retractable awning between kitchen block and main block	24	m2	600.00	14,400
157	Paving between kitchen & toilet block	6	m2	100.00	600
158	Extend verandah to toilet block	17	m2	700.00	11,900
159	New toilet block	18	m2	5,500.00	99,000
160	Upgrade of existing services		Item		0
161	Power and hydraulic services to new toilet block		Item		0
162	Power and hydraulic services to laundry and kitchen		Item		15,000
163	Cabinetwork to kitchen and laundry		Item		15,000
164	Hotplate / oven		Item		2,000
165	Allowance for whitegoods		Item		2,000
166	Cut & fill to levels to provide a drop off area to building from carpark	86	m2	50.00	4,300
167	2000x1000 table	4	No	2,500.00	10,000

ROEBOURNE HERITAGE PRECINCT

Project: Heritage
Building:

Details: CONSERVATION & NEW USE WORKS

Code	Description	Quantity	Unit	Rate	Total
------	-------------	----------	------	------	-------

B4 1887 ADMINISTRATION BUILDING / POLICE QUARTERS - EDUCATION

(Continued)

168	2000 long bench seat	8	No	1,500.00	12,000
169	Desks to Rooms 01 to 03	12	No	1,200.00	14,400
170	Chairs to Rooms 01 to 03	24	No	400.00	9,600
					408,790
	On-costs				
171	Allowance for builder's preliminaries		Item		61,210
172	Allowance for collecting samples		Item		Included
173	Prepare sample panel of paint removal using steam cleaning technique		Item		Included
174	Allowance for design contingency		Item		23,500
175	Allowance for construction contingency		Item		49,500
176	Professional fees and disbursements		Item		Excluded
177	Escalation beyond July 2017		Item		Excluded
178	Goods and Services Tax		Item		Excluded
					543,000

543,000

ROEBOURNE HERITAGE PRECINCT

Project: Heritage
Building:

Details: CONSERVATION & NEW USE WORKS

Code	Description	Quantity	Unit	Rate	Total
------	-------------	----------	------	------	-------

B4 1887 ADMINISTRATION BUILDING / POLICE QUARTERS - ACCOMMODATION

	Demolition Works				
179	Remove all debris and material from collapsed roof over existing kitchen block including salvaging sound timber for re-use		Item		500
180	Remove existing corrugated roofing from main block, verandah & store	195	m2	80.00	15,600
181	Remove asbestos ceiling and wall linings	57	m2	100.00	5,700
182	Remove all debris and vegetation around the site and adjacent to buildings	464	m2	30.00	13,920
183	Remove timber framed walls to covered link	28	m2	50.00	1,400
184	Remove roof to covered link	36	m2	60.00	2,160
185	Remove floor covering to covered link	24	m2	40.00	960
186	Remove floor coverings to laundry, kitchen, main block & store	100	m2	40.00	4,000
187	Remove air conditioning unit	2	No	150.00	300
188	Remove redundant services		Item		500
189	Remove all surface mounted external lighting including patch repair of holes with repair mortar and / or salvaged rubble to match existing stonework		Item		1,000
190	Demolish external toilet block, associated covered link way , retaining wall and landscaping	33	m2	120.00	3,960
191	Demolish concrete slab	10	m2	60.00	600
192	Remove perimeter fencing	47	m	40.00	1,880
193	Carefully remove verandah framing to main block including salvaging timber rafters, posts and beams for re-use	69	m2	80.00	5,520
194	Remove external aluminium window grille and patch holes	3	No	150.00	450
195	Remove existing built-in cabinetwork, sink, troughs and stove to kitchen block		Item		450
196	Clean out fireplace to kitchen block & remove all debris	2	No	200.00	400
197	Remove infill panel to door opening in main block central room		Item		50
	Conservation Works				
198	Stabilise existing building and verandah on east and north-east elevation of main block		Item		3,000
199	New hip roof over kitchen block including timber framed structure, tie down anchors & straps, Galv. corrugated iron roof sheeting , flashings and apron flashing around chimney	42	m2	300.00	12,600
200	Re-roof main block, verandah & store with galv. corrugated iron roof sheeting including anticon insulation, flashings, gutters and downpipes	126	m2	220.00	27,720
201	Remove existing paint layers for main block external walls	123	m2	190.00	23,370
202	Re-point missing / eroded joints in external walls with mortar repair mix (50% allowed)	92	m2	210.00	19,320
203	Gravel filled air trench to base of external walls	83	m	150.00	12,450
204	Stabilise and repoint chimney to kitchen block and remove paint above roof level		Item		2,400

ROEBOURNE HERITAGE PRECINCT

Project: Heritage
Building:

Details: CONSERVATION & NEW USE WORKS

Code	Description	Quantity	Unit	Rate	Total
------	-------------	----------	------	------	-------

B4 1887 ADMINISTRATION BUILDING / POLICE QUARTERS - ACCOMMODATION

(Continued)

205	Cap kitchen block chimney with galvanised flashing		Item		200
206	Remove and replace termite damaged timber sash window and provide new hardware, timber sill and architrave	3	No	2,000.00	6,000
207	Remove and replace termite damaged timber door and overdoor panel including providing new hardware, timber sill and architrave	1	No	1,800.00	1,800
208	Prepare existing door and repaint including replacing hardware	2	No	600.00	1,200
209	Stitch crack above kitchen block windows with Helefix "Helibar"		Item		250
210	Remove flaky paint to kitchen block & repaint with lime based paint / limewash to internal wall surfaces	82	m2	80.00	6,560
211	Reinstate timber framed door to main block central room including hardware	1	No	1,800.00	1,800
212	Remove infill panel to main block window opening	2	No	50.00	100
213	Reinstate timber framed sash window to main block including hardware	2	No	2,000.00	4,000
214	Prepare and repaint existing timber sash window to main block including ensuring window is operable	2	No	400.00	800
215	Prepare and repaint existing timber framed door to main block including replacing all door hardware	5	No	600.00	3,000
216	Refix loose ceiling lining to store and repaint	7	m2	80.00	560
217	Carefully remove loose and drummy internal render, check existing stone wall for cracks and missing joints. Repoint cracks and missing joints with repair mortar mix and reinstate areas of removed render with repair render mix	30	m2	240.00	7,200
218	Repaint existing store door	1	No	250.00	250
219	Retain existing stone steps from carpark		Item	500.00	
220	Provide well drained compacted ground footpath from carpark to kitchen	14	m2	80.00	1,120
221	Provide well drained compacted ground footpath from base of stone steps of kitchen to link	13	m2	80.00	1,040
222	Ceiling insulation to laundry / kitchen and main block	100	m2	25.00	2,500
223	Retractable awning between kitchen block and main block	24	m2	600.00	14,400
224	Extend verandah to toilet block	25	m2	700.00	17,500
225	New toilet block	18	m2	5,500.00	99,000
226	Upgrade of existing services		Item		0
227	Power and hydraulic services to new toilet block		Item		0
228	Power and hydraulic services to laundry and kitchen		Item		15,000
229	Cabinetwork to kitchen and laundry		Item		15,000
230	Cut & fill to levels to provide a drop off area to building from carpark	86	m2	50.00	4,300
231	2000x1000 table	4	No	2,500.00	10,000
232	2000 long bench seat	8	No	1,500.00	12,000
233	Allowance for beds, side tables and linen		Item		15,000
234	Hotplate / oven		Item		2,000

ROEBOURNE HERITAGE PRECINCT

Project: Heritage
Building:

Details: CONSERVATION & NEW USE WORKS

Code	Description	Quantity	Unit	Rate	Total
------	-------------	----------	------	------	-------

B4 1887 ADMINISTRATION BUILDING / POLICE QUARTERS - ACCOMMODATION

(Continued)

235	Allowance for whitegoods		Item		2,000
					404,790
	On-costs				
236	Allowance for builder's preliminaries		Item		61,210
237	Allowance for collecting samples		Item		Included
238	Prepare sample panel of paint removal using steam cleaning technique		Item		Included
239	Allowance for design contingency		Item		23,000
240	Allowance for construction contingency		Item		49,000
241	Professional fees and disbursements		Item		Excluded
242	Escalation beyond July 2017		Item		Excluded
243	Goods and Services Tax		Item		Excluded
					538,000

538,000

ROEBOURNE HERITAGE PRECINCT

Project: Heritage
Building:

Details: CONSERVATION & NEW USE WORKS

Code	Description	Quantity	Unit	Rate	Total
------	-------------	----------	------	------	-------

B5 1896 SMALLER CELL BLOCK - OCCASIONAL USE

	Demolition Works				
244	Remove all machinery displays and relocate to new location		Item		1,000
245	Remove wall mounted retractable water hose and patch fixing holes with repair mortar mix		Item		200
246	Remove all low shrubs, flowering plants and grass around the site	293	m2	20.00	5,860
247	Remove paint from all painted quoins, lintels & copings using approved removal method	57	m2	200.00	11,400
248	Remove all debris and loose furniture from cells and courtyard		Item		500
249	Carefully remove internal rendered wall and slab to Cells 3 & 4 and patch repair interface between internal wall and stone wall with repair mortar and salvaged rubble as required		Item		2,000
250	Remove paint for internal courtyard wall surfaces using approved paint removal method	132	m2	200.00	26,400
251	Remove stainless steel trough to enclosed courtyard and associated services		Item		400
252	Remove plumbing and fittings to enclosed courtyard shower area		Item		400
253	Remove timber partition to enclosed courtyard	9	m2	40.00	360
254	Remove toilet suite and hand basin. Cap off hydraulic services for future use	2	No	600.00	1,200
	Conservation Works				
255	Prepare and apply protective coating to timber doors and frames (both sides msd)	17	m2	40.00	680
256	Prepare and apply protective coating to timber storm shutters (both sides msd)	21	m2	40.00	840
257	Rub back and remove paint finish from iron grilles, apply anti-rust treatment and coat with Penetrol (one side msd)	37	m2	70.00	2,590
258	Rub back and remove flaky paint from cell walls and apply lime wash	240	m2	80.00	19,200
259	Conserve flat stone and rendered roof cover	5	m2	100.00	500
260	Rub back, prepare and paint corrugated iron ceiling lining to cells	53	m2	50.00	2,650
261	Conserve timber louvres to high level circular windows, apply protective coating and install powder coated stainless steel mesh to internal face of louvres	2	No	1,500.00	3,000
262	Replace damage parapet and counter flashing	4	m	180.00	720
263	Repoint crack at apex of arched opening above entrance to courtyard		Item		300
264	Freestanding stainless steel trough including splashback suitable for use with art / craft activities		Item		4,000
					84,200
	On-costs				
265	Allowance for builder's preliminaries		Item		12,800
266	Allowance for collecting samples		Item		Included
267	Prepare sample panel of paint removal using steam cleaning technique		Item		Included

ROEBOURNE HERITAGE PRECINCT

Project: Heritage
Building:

Details: CONSERVATION & NEW USE WORKS

Code	Description	Quantity	Unit	Rate	Total
------	-------------	----------	------	------	-------

B5 1896 SMALLER CELL BLOCK - OCCASIONAL USE

(Continued)

268	Allowance for design contingency		Item		5,000
269	Allowance for construction contingency		Item		10,000
270	Professional fees and disbursements		Item		Excluded
271	Escalation beyond July 2017		Item		Excluded
272	Goods and Services Tax		Item		Excluded
					112,000

112,000

ROEBOURNE HERITAGE PRECINCT

Project: Heritage
Building:

Details: CONSERVATION & NEW USE WORKS

Code	Description	Quantity	Unit	Rate	Total
------	-------------	----------	------	------	-------

B5 1896 SMALLER CELL BLOCK - INFORMATION CENTRE

	Demolition Works				
273	Remove all machinery displays and relocate to new location		Item		1,000
274	Remove wall mounted retractable water hose and patch fixing holes with repair mortar mix		Item		200
275	Remove all low shrubs, flowering plants and grass around the site	293	m2	20.00	5,860
276	Remove paint from all painted quoins, lintels & copings using approved removal method	57	m2	200.00	11,400
277	Remove all debris and loose furniture from cells and courtyard		Item		500
278	Carefully remove internal rendered wall and slab to Cells 3 & 4 and patch repair interface between internal wall and stone wall with repair mortar and salvaged rubble as required		Item		2,000
279	Remove paint for internal courtyard wall surfaces using approved paint removal method	132	m2	200.00	26,400
280	Remove stainless steel trough to enclosed courtyard and associated services		Item		400
281	Remove plumbing and fittings to enclosed courtyard shower area		Item		400
282	Remove timber partition to enclosed courtyard	9	m2	40.00	360
283	Remove toilet suite and hand basin. Cap off hydraulic services for future use	1	No	600.00	600
	Conservation Works				
284	Prepare and apply protective coating to timber doors and frames (both sides msd)	17	m2	40.00	680
285	Prepare and apply protective coating to timber storm shutters (both sides msd)	21	m2	40.00	840
286	Rub back and remove paint finish from iron grilles, apply anti-rust treatment and coat with Penetrol (one side msd)	37	m2	70.00	2,590
287	Rub back and remove flaky paint from cell walls and apply lime wash	240	m2	80.00	19,200
288	Conserve flat stone and rendered roof cover	5	m2	100.00	500
289	Rub back, prepare and paint corrugated iron ceiling lining to cells	53	m2	50.00	2,650
290	Conserve timber louvres to high level circular windows, apply protective coating and install powder coated stainless steel mesh to internal face of louvres	2	No	1,500.00	3,000
291	Replace damage parapet and counter flashing	4	m	180.00	720
292	Repoint crack at apex of arched opening above entrance to courtyard		Item		300
293	Adapt Cell 02 for storage and staff toilet. Install new WC suite and hand basin including sanitary accessories & new door to toilet enclosure		Item		6,500
294	Reception counter		Item		8,000
295	Re-roof with galv. corrugated iron roof sheeting including anticon insulation, flashings, gutters and downpipes	133	m2	220.00	29,260
296	Ceiling insulation to Cell 02	14	m2	25.00	350
297	Corrugated ceiling lining and insulation to enclosed courtyard	50	m2	200.00	10,000

ROEBOURNE HERITAGE PRECINCT

Project: Heritage
Building:

Details: CONSERVATION & NEW USE WORKS

Code	Description	Quantity	Unit	Rate	Total
------	-------------	----------	------	------	-------

B5 1896 SMALLER CELL BLOCK - INFORMATION CENTRE

(Continued)

298	Allowance for upgrading services including new phone & wireless internet connection		Item		5,000
					138,710
	On-costs				
299	Allowance for builder's preliminaries		Item		20,290
300	Allowance for collecting samples		Item		Included
301	Prepare sample panel of paint removal using steam cleaning technique		Item		Included
302	Allowance for design contingency		Item		8,000
303	Allowance for construction contingency		Item		17,000
304	Professional fees and disbursements		Item		Excluded
305	Escalation beyond July 2017		Item		Excluded
306	Goods and Services Tax		Item		Excluded
					184,000

184,000

ROEBOURNE HERITAGE PRECINCT

Project: Heritage
Building:

Details: CONSERVATION & NEW USE WORKS

Code	Description	Quantity	Unit	Rate	Total
------	-------------	----------	------	------	-------

B6 ROEBOURNE GAOL - CONSERVATION

	Demolition Works				
307	Remove all machinery displays and relocate to new location		Item		2,000
308	Remove geological displays and signage and relocate to new location		Item		500
309	Remove and store interpretive / heritage trail signage for reinstatement in new location		Item		500
310	Remove all low shrubs, flowering plants & grass around the site	1,636	m2	20.00	32,720
311	Remove cyclone fencing	139	m	40.00	5,560
312	Remove paint from all painted quoins, lintels & copings using approved removal method	136	m2	200.00	27,200
313	Remove display cases and artefacts in Wings 02 & 03. Curate photographs and artefacts and store safely for re-use		Item		1,000
314	Remove all debris and loose furniture from cells wings and courtyard		Item		500
315	Remove all air conditioning and condensor units, associated ducting and wiring	4	No	150.00	600
316	Remove existing timber counter, display cabinets, loose furniture and shelving from Wing 04		Item		500
317	Remove Wing 04 toilet complete including all fittings, fixtures, partition, vanity, tiled floor and skirting		Item		2,000
318	Remove timber framed external door to Wing 04		Item		150
319	Modify existing door opening in Wing 04 to form window opening and install high level window including timber framed shutters and iron grilles, all to match existing	1	No	4,000.00	4,000
320	Remove floor tiles to Wing 04 to expose concrete slab	16	m2	60.00	960
321	Remove surface mounted signage to Wing 04		Item		200
322	Remove partitions to courtyard toilets	11	m2	40.00	440
323	Remove tiled surfaces and fittings to courtyard toilets		Item		600
324	Remove cast iron cover to original drainage trench in courtyard	14	m	100.00	1,400
325	Remove black paint from courtyard walls using approved removal method	45	m2	200.00	9,000
326	Removal of white paint to courtyard walls included elsewhere		Note		
327	Remove stainless steel sinks to courtyard including associated plumbing		Item		400
328	Remove shade cloth to courtyard	114	m2	30.00	3,420
329	Remove surface mounted light fittings and conduits above entry to each wing and make good		Item		500
	Conservation Works				
330	Prepare and apply protective coating to ledged and braced timber doors and frames (both sides msd)	17	m2	40.00	680
331	Prepare and apply protective coating to timber storm shutters (both sides msd)	48	m2	40.00	1,920
332	Rub back and remove paint finish from iron grilles, apply anti-rust treatment and coat with Penetrol (one side msd)	48	m2	70.00	3,360

ROEBOURNE HERITAGE PRECINCT

Project: Heritage
Building:

Details: CONSERVATION & NEW USE WORKS

Code	Description	Quantity	Unit	Rate	Total
------	-------------	----------	------	------	-------

B6 ROEBOURNE GAOL - CONSERVATION

(Continued)

333	Carefully rub down, remove paint, apply anti-rust treatment and treat shackles with Penetrol		Item		500
334	Rub back and remove flaky paint from internal wall surfaces and apply lime wash	400	m2	80.00	32,000
335	Rub back, prepare and paint corrugated iron ceiling lining to cells	200	m2	50.00	10,000
336	Conserve timber louvres to high level circular windows, apply protective coating and install powder coated stainless steel mesh to internal face of louvres	4	No	1,500.00	6,000
337	Carefully remove internal walls and slab to Wing 01 and patch repair interface between internal wall and stone walls with repair mortar and salvaged rubble as required		Item		1,000
338	Carefully remove internal walls and slab to Wing 02 and patch repair interface between internal wall and stone walls with repair mortar and salvaged rubble as required		Item		1,000
339	Prepare and apply protective coating to large double doors and frame (both sides msd)	13	m2	40.00	520
340	Remove deteriorated portion of lintel to large double doors and splice in sound timber from salvaged / recycled timber of same species and size		Item		800
341	Paint existing internal walls to segregation areas of wing 04	90	m2	40.00	3,600
342	Rub back, prepare steel roof frames to courtyard and apply protective treatment and paint finish	114	m2	60.00	6,840
					162,370
	On-costs				
343	Allowance for builder's preliminaries		Item		24,630
344	Allowance for collecting samples		Item		Included
345	Prepare sample panel of paint removal using steam cleaning technique		Item		Included
346	Allowance for design contingency		Item		9,500
347	Allowance for construction contingency		Item		19,500
348	Professional fees and disbursements		Item		Excluded
349	Escalation beyond July 2017		Item		Excluded
350	Goods and Services Tax		Item		Excluded
					216,000

216,000

ROEBOURNE HERITAGE PRECINCT

Project: Heritage
Building:

Details: CONSERVATION & NEW USE WORKS

Code	Description	Quantity	Unit	Rate	Total
------	-------------	----------	------	------	-------

B10 1896 GAOLER'S QUARTERS - SELF CATERING ACCOMMODATION

	Demolition Works				
351	Remove all debris around the building, verandah, internal rooms and corridor	543	m2	20.00	10,860
352	Remove all air conditioning and condensor units & associated ducting	6	No	150.00	900
353	Remove notice boards to corridor		Item		100
354	Remove plastic screen from main entrance		Item		200
355	Remove existing security screen door to kitchen block		Item		200
356	Remove built-in cabinetwork and sink to kitchen block		Item		500
357	Remove existing sanitary fixtures, built-in shelving and internal partitions to toilet block		Item		2,000
358	Remove existing ceramic floor tiling to toilet addition	16	m2	60.00	960
359	Remove existing wall tiling to toilet addition	17	m2	60.00	1,020
	Conservation Works				
360	Carefully clean all exposed stone walls using steam cleaning method	190	m2	200.00	38,000
361	Carefully clean concrete slab using steam cleaning method	321	m2	150.00	48,150
362	Remove and replace roofing with Galv. corrugated iron roof sheeting and roof flashings. Inspect all holding down anchors and straps and replace if missing or damaged (msd on plan)	396	m2	220.00	87,120
363	Rub back existing cast iron verandah posts, apply anti-rust protective treatment and paint finish	35	m	60.00	2,100
364	Rub back exposed timber roof framing to verandah and apply paint finish including anti-rust treatment to existing bolts (msd on plan)	229	m2	40.00	9,160
365	Remove rope barriers between verandah posts and reinstate timber balustrade to match original including paint finish	21	m	1,000.00	21,000
366	New light fittings to verandah		Item		2,000
367	Rub down, prepare and apply paint to all internal walls	285	m2	40.00	11,400
368	Make good and paint existing ceilings	143	m2	40.00	5,720
369	Prepare and repaint existing timber sash window including ensuring window is operable and replacing damaged or missing sash cords	7	No	500.00	3,500
370	Prepare and repaint existing timber framed door including replacing all door hardware	12	No	600.00	7,200
371	Ramps and balustrade upgraded to current standards		Item		3,000
372	Allow for new light fittings	8	No	300.00	2,400
373	Allow for smoke detection	7	No	250.00	1,750
374	Allow for fire extinguisher & blanket	2	No	600.00	1,200
375	2000x1000 table	3	No	2,500.00	7,500
376	2000 long bench seat	6	No	1,500.00	9,000
377	Allowance for beds, side tables and linen		Item		20,000
378	Power and hydraulic services to laundry and kitchen		Item		12,000

ROEBOURNE HERITAGE PRECINCT

Project: Heritage
Building:

Details: CONSERVATION & NEW USE WORKS

Code	Description	Quantity	Unit	Rate	Total
------	-------------	----------	------	------	-------

B10 1896 GAOLER'S QUARTERS - SELF CATERING ACCOMMODATION

(Continued)

379	Cabinetwork to kitchen / laundry		Item		8,000
380	Hotplate / Oven		Item		2,000
381	Allowance for whitegoods including washer / dryer		Item		5,000
382	New hydraulic fixtures & plumbing to toilet block addition		Item		15,000
383	Sanitary accessories to toilet block addition		Item		1,500
384	New partitions & doors to toilet block addition		Item		3,500
385	Sheet vinyl flooring & skirting to toilet block addition	15	m2	100.00	1,500
386	Ceramic wall tiling to toilet block addition	59	m2	150.00	8,850
387	Paint ceiling to toilet block addition	15	m2	25.00	375
					354,665
	On-costs				
388	Allowance for builder's preliminaries		Item		53,335
389	Allowance for collecting samples		Item		Included
390	Prepare sample panel of paint removal using steam cleaning technique		Item		Included
391	Allowance for design contingency		Item		20,000
392	Allowance for construction contingency		Item		43,000
393	Professional fees and disbursements		Item		Excluded
394	Escalation beyond July 2017		Item		Excluded
395	Goods and Services Tax		Item		Excluded
					471,000

471,000

ROEBOURNE HERITAGE PRECINCT

Project: Heritage
Building:

Details: CONSERVATION & NEW USE WORKS

Code	Description	Quantity	Unit	Rate	Total
------	-------------	----------	------	------	-------

B10 1896 GAOLER'S QUARTERS - BED & BREAKFAST ACCOMMODATION

	Demolition Works				
396	Remove all debris around the building, verandah, internal rooms and corridor	543	m2	20.00	10,860
397	Remove all air conditioning and condensor units & associated ducting	6	No	150.00	900
398	Remove notice boards to corridor		Item		100
399	Remove plastic screen from main entrance		Item		200
400	Remove existing security screen door to kitchen block		Item		200
401	Remove built-in cabinetwork and sink to kitchen block		Item		500
402	Demolish existing toilet block addition and make good verandah including capping services etc.		Item		15,000
	Conservation Works				
403	Carefully clean all exposed stone walls using steam cleaning method	190	m2	200.00	38,000
404	Carefully clean concrete slab using steam cleaning method	321	m2	150.00	48,150
405	Remove and replace roofing with Galv. corrugated iron roof sheeting and roof flashings. Inspect all holding down anchors and straps and replace if missing or damaged (msd on plan)	396	m2	220.00	87,120
406	Rub back existing cast iron verandah posts, apply anti-rust protective treatment and paint finish	35	m	60.00	2,100
407	Rub back exposed timber roof framing to verandah and apply paint finish including anti-rust treatment to existing bolts (msd on plan)	229	m2	40.00	9,160
408	Remove rope barriers between verandah posts and reinstate timber balustrade to match original including paint finish	21	m	1,000.00	21,000
409	New light fittings to verandah		Item		2,000
410	Rub down, prepare and apply paint to all internal walls	285	m2	40.00	11,400
411	Make good and paint existing ceilings	143	m2	40.00	5,720
412	Prepare and repaint existing timber sash window including ensuring window is operable and replacing damaged or missing sash cords	7	No	500.00	3,500
413	Prepare and repaint existing timber framed door including replacing all door hardware	12	No	600.00	7,200
414	Ramps and balustrade upgraded to current standards		Item		3,000
415	Allow for new light fittings	8	No	300.00	2,400
416	Allow for smoke detection	7	No	250.00	1,750
417	Allow for fire extinguisher & blanket	2	No	600.00	1,200
418	2000x1000 table	3	No	2,500.00	7,500
419	2000 long bench seat	6	No	1,500.00	9,000
420	Allowance for beds, occasional tables, chairs and linen		Item		15,000
421	Power and hydraulic services to laundry and kitchen		Item		12,000
422	Cabinetwork to kitchen / laundry		Item		8,000
423	Hotplate / Oven		Item		2,000

ROEBOURNE HERITAGE PRECINCT

Project: Heritage
Building:

Details: CONSERVATION & NEW USE WORKS

Code	Description	Quantity	Unit	Rate	Total
------	-------------	----------	------	------	-------

B10 1896 GAOLER'S QUARTERS - BED & BREAKFAST ACCOMMODATION

(Continued)

424	Allowance for whitegoods including washer / dryer		Item		5,000
425	Construct ensuite and robe including partitions, doors, finishes, wc, basin and shower	4	No	25,000.00	100,000
426	Ducted air conditioning to bedrooms and communal sitting / dining	92	m2	350.00	32,200
427	Ventilation to ensuites	4	No	400.00	1,600
					463,760
	On-costs				
428	Allowance for builder's preliminaries		Item		69,240
429	Allowance for collecting samples		Item		Included
430	Prepare sample panel of paint removal using steam cleaning technique		Item		Included
431	Allowance for design contingency		Item		26,500
432	Allowance for construction contingency		Item		55,500
433	Professional fees and disbursements		Item		Excluded
434	Escalation beyond July 2017		Item		Excluded
435	Goods and Services Tax		Item		Excluded
					615,000

615,000