



Ms Virginia Miltrup City of Karratha Lot 1083 Welcome Road Karratha WA 6714

11 April 2025

Dear Virginia,

Proposed Amendment to DA24-O24 - Hotel and Restaurant Lot 2654 (No. 275) Bayview Road, Gap Ridge

RFF Australia acts on behalf of QSD Hire Pty Ltd with respect to the development of the Bayview Hotel and Restaurant, at Lot 2654 (No. 275) Bayview Road, Gap Ridge ('the subject land'). We are pleased to submit this application for an Amendment to the existing Development Approval (DA24-O24) that seeks to amend the general layout of the development within the front portion of the site (hotel bar, restaurant and supporting amenities).

This Application is submitted pursuant to Regulation 17A of the *Planning and Development (Development Assessment Panels) Regulations 2011.*

This application is accompanied by revised development plans and supporting documentation, which reflect minor modifications to the approved development. These changes do not materially alter the scale or character of the approved Hotel and Restaurant and are submitted for consideration by the City of Karratha in accordance with Regulation 17A.

Background

Development Approval was granted by the Regional Development Assessment Panel on 15 August 2024, for the use and development of the subject land to accommodate 832 hotel rooms and associated hotel amenities, a hotel bar, and restaurant.

Refer Appendix A - Development Approval (DAP/24/02685).

The Proponent sought minor amendments to the plan in January 2025, which were granted by the City of Karratha on 13 February 2025, comprising:

- a reduction to the number of family hotel suites, from 144 to 48 rooms.
- Removal of the 'standard' hotel suite type, and replacement with deluxe hotel suites, providing for a total of 714 deluxe rooms.
- Reconfiguration of the laundry, gym, and executive suites.

Refer Appendix B - Development Approval (DA24-024-AMD1).

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The Applicant has continued its design development by reviewing the front setback (hospitality) area, including the inclusion of a number of ancillary recreational facilities at the proposed development, and the building design and facades.

The City of Karratha has had open consultation regarding the progression of this plan.

Proposed Development

This Application seeks to amend the existing Development Approval of the City of Karratha for minor amendments to the approved site plan. The amendments are concentrated in the front portion of the site, and are summarised as follows:

Restaurant:

- Restaurant to be located on the north-west side of entry driveway; and which is intended to provide a family friendly dining experience (i.e., will not be a liquor licensed premises).
- Building reconfigured as required by operator.

Hotel Bar:

- Hotel Bar to be located on the south-east side of the entry driveway; and which is intended to be open to the public.
- Inclusion of a pub-style hospitality offering, eight lane competition standard tenpin bowling alley, 8 ball (pool) and social darts recreation facilities, together with a children's playground and mini golf.
- Reorientation of the covered outdoor area (beer garden) to be oriented northwards for better weather protection and acoustic mitigation.
- Inclusion of a distillery display area.

General Arrangement:

- Relocation of ablution facilities and storage area to be generally centrally focussed in proximity to the existing reception facility.

• Elevations:

- Further definition to the proposed elevations of the building, which now comprise a mix of:
 - > Besser block or tilt-up concrete panels.
 - > Structural EPS panels.
 - > Bamboo cladding.
 - > Public art (Restaurant elevation).
- The buildings will be largely screened from view by the approved landscaping within the site and anticipated future screening within the adjacent unallocated crown land.

• Net Effects of Public Area Amended Development:

- Summarised as follows:

Public Area	Amendment 1 (Feb 2025)	Amendment 2 (This proposal)
Hotel Bar (including Bowling Alley)	423 sqm	320 sqm
Covered Area (Beer Garden)	678 sqm	490 sqm
Reception Area	415 sqm	415 sqm



Public Area	Amendment 1 (Feb 2025)	Amendment 2 (This proposal)
Restaurant Dining Area	576 sqm	533 sqm
Playground	100 sqm	117 sqm
Minigolf Area	240 sqm	240 sqm
Total	2329 sqm	2218 sqm
Car Parking Area		
Standard Bays	496	496
Minibus Bays	110	110
Universal Bays	16	16
Motorbike Bays	8	8
Bicycle Bays	22	22
Total Bays	652	652

Refer Appendix C - Development Plans.

Conclusion

The proposed changes represent a minor refinement of an already approved development and are submitted in good faith to facilitate a substantially better range and quality of amenity and activity for the families of Karratha. The amended plans continue to achieve a high standard of design and functionality, while supporting the City's goals for tourism, accommodation and economic development in Gap Ridge. Should you require further clarification, please do not hesitate to contact the undersigned.

Yours sincerely,

M. Mackenzie

Madison Mackenzie Regional Planner

RFF Australia

madison@rffaustralia.com.au



Appendix A: Development Approval (DAP/24/02685)

LG Ref: DA24-024 DAP Ref: DAP/24/02685 Enquiries: (08) 6551 9919

Madison Mackenzie RFF PO Box 88 Karratha WA 6714

Dear Madison,

REGIONAL DAP - CITY OF KARRATHA - DAP APPLICATION - DA24-024 - DETERMINATION

Property Location:	Lot 2654 (No.275) Bayview Road, Nickol
Application Details:	Proposed Hotel and Restaurant

Thank you for your Form 1 Development Assessment Panel (DAP) application and plans submitted to the City of Karratha on 18 April 2024 for the above-mentioned development.

This application was considered by the Regional DAP at its meeting held on 15 August 2024, where in accordance with the provisions of the City of Karratha Local Planning Scheme No.8, it was resolved to **approve** the application as per the attached notice of determination.

Should the applicant not be satisfied by this decision, an application may be made to amend or cancel this planning approval in accordance with regulation 17 and 17A of the *Planning and Development (Development Assessment Panels) Regulations 2011*.

Please also be advised that there is a right of review by the State Administrative Tribunal in accordance with Part 14 of the *Planning and Development Act 2005*. Such an application must be made within 28 days of the determination, in accordance with the *State Administrative Tribunal Act 2004*.

Should you have any queries with respect to the conditions of approval, please contact Chris Sayer on behalf of the City of Karratha on 08 9186 8674.

Yours sincerely,

DAP executive director

21 August 2024

Encl. DAP Determination Notice

Approved Plans

Cc: Chris Sayer

City of Karratha

Planning and Development Act 2005

City of Karratha Local Planning Scheme No.8

Regional Development Assessment Panel

Determination on Development Assessment Panel Application for Planning Approval

Property Location: Lot 2654 (No.275) Bayview Road, Nickol

Application Details: Proposed Hotel and Restaurant

In accordance with regulation 8 of the *Planning and Development (Development Assessment Panels) Regulations 2011*, the above application for planning approval was **granted** on 15 August 2024, subject to the following:

- 1. **Accept** that the DAP Application reference DAP/24/2685 as detailed on the DAP Form 1 dated 02 April 2024 is appropriate for consideration as a "Hotel" and "Restaurant" land use and compatible with the objectives of the zoning table in accordance with Clause 3.2 of the City of Karratha Local Planning Scheme No. 8:
- 2. **Approve** DAP Application reference DAP/24/2685 and accompanying plans in accordance with Clause 68 of Schedule 2 (Deemed Provisions) of the Planning and Development (Local Planning Schemes) Regulations 2015, and the provisions of the City of Karratha Local Planning Scheme No.8, subject to the following conditions:

Conditions:

- 1. This decision constitutes planning approval only and is valid for period of four (4) years from the date of approval. If the subjected development is not substantially commenced within the four (4) year period, the approval shall lapse and be of no further effect.
- Development/land use shall be in accordance with the attached approved plan(s) received 12 July 2024 and subject to any modifications required as a consequence of any condition(s) of this approval. He endorsed plans shall not be modified or altered without the prior written approval of the DAP or the City of Karratha.

Prior to the Lodgement of a Building Permit

- 3. Prior to issue of a Building Permit, the development plans shall be modified to reflect the stormwater management strategy, to the satisfaction of the City of Karratha.
- 4. Prior to issue of a Building Permit, detailed to design to demonstrate surface water, stormwater and drainage management is to be submitted to the satisfaction and specification of the City of Karratha. The stormwater and drainage management design is to be implemented and constructed.

- 5. Prior to issue of a Building Permit, a detailed landscaping plan shall be submitted to the satisfaction of and approved by the City of Karratha. The landscape plan must address the following:
 - a. A site plan of the existing and proposed development with natural and finished ground levels
 - b. The location, species and size of existing vegetation to be removed.
 - c. Exact species, maturity, location and number of proposed plants and to include some deep root zone planting to support large trees.
 - d. A key or legend detailing proposed species type grouped under subheadings of tree, shrub and groundcover.
 - e. Irrigation.
 - f. The establishment and ongoing maintenance of asset protection zones as contained in the Bushfire Management Plan (as amended).
 - g. Fence material, height and treatment
 - h. Proposed planting to screen and elevation of proposed acoustic barrier to Bayview Road.
 - i. Detailed consideration be given to the presentation of the development to the street.
- 6. Prior to the issue if a Building Permit, an External Lighting Plan is to be submitted to and approved by the City of Karratha and thereafter implemented to the satisfaction of the City of Karratha.

Prior to Commencement of Development

- 7. Prior to the issue if a Building Permit, the Bushfire Management Plan (version 2 dates 11 July 2024 prepared by Bushfire Smart) is to be updated as follows:
 - a. Demonstrate a second access point to Bayview Road within Lot 4688.
 - b. Include reference to all landscaped areas being irrigated.
 - c. Demonstrate the subject land can be connected to reticulated water supply.
- 8. Prior to the issue of a Building Permit, the Bushfire Emergency Evacuation Plan (Version 1 dated 15 April 2024 prepared by EcoForm) is to be updated to the satisfaction of the City of Karratha.
- 9. Prior to commencement of works on site a Construction Environmental Management Plan (CEMP) is to be submitted to and approved by the City of Karratha and thereafter implemented to the satisfaction of the City of Karratha. The CEMP should include, but is not limited to:
 - a. Hours of construction;
 - b. Location of temporary construction areas:
 - c. Construction Waste Management;
 - d. Occupational health and safety;
 - e. Noise, vibration and dust management;
 - f. Drainage management;
 - g. Site traffic management;
 - h. Bushfire Risk and Emergency Management Measures:
 - i. Construction Environmental Management.

Prior to Occupation and/or use of the Approved Development:

- Prior to occupancy, a Noise Management Plan is to be prepared and approved by the City of Karratha, and therefore implemented to the satisfaction of the City of Karratha.
- 11. Prior to occupancy, an Operational Management Plan is to be updated and approved by the City of Karratha and thereafter implemented to the satisfaction of the City of Karratha.
- 12. Prior to occupancy, a Mosquito Management Plan is to be submitted to and approved by the City of Karratha and thereafter implemented to the satisfaction of the City of Karratha.
- 13. Prior to occupancy, a Dual Use Path connection being installed at the applicant's costs between the proposed development and the existing local Dual Use Path network to the satisfaction of the City of Karratha.
- 14. Prior to occupancy, the approved landscape plan and irrigation shall be established.
- 15. Prior to the commencement of use, all parking vehicle access and manoeuvring areas, are to be sealed, line marked, kerbed, drained, as shown on the approved plans and thereafter maintained to the satisfaction of the City of Karratha.

Advice Notes

- 1. If you are aggrieved by the conditions of this approval, you have the right to request that the State Administrative Tribunal (SAT) review the decision under Part 14 of the Planning and Development Act 2005.
- 2. Where an approval has lapsed, no development may be carried out without further approval from the DAP having first been sought and obtained.
- 3. A Building Permit if required for the approved development in accordance with the National Construction Code. Accessible units may be required to be provided in accordance with relevant building legislation.
- 4. Under the Food Act 2008, food businesses must comply with the Food Standards Code and Food business registration is required before commencement of trade. An Application for registration should be submitted to the City including details plans of the proposed layout and fit out of the kitchen and associated facilities

Where an approval has so lapsed, no development shall be carried out without further approval having first been sought and obtained, unless the applicant has applied and obtained Development Assessment Panel approval to extend the approval term under regulation 17(1)(a) or local government approval under regulation 17A of the *Planning and Development (Development Assessment Panels) Regulations 2011*.

Table 1: Development Summary

Hotel Use

Hotel Room	Quantity Roon		Area/R	Room	Qty B	uildings	Subtota	al - Building Area	TOTAL	
Type	Qty New	Qty Old	Area New	Area Old	Qty New	Qty Old	Area New	Area Old	Area New	Area Old
Ocean View Suites	48	48	40m ²	40m ²	6	6	320m²	320m ²	1920m ²	1,920m ²
Family Suites										
(Queen bed + Kids beds)	144	96	30m ²	30m ²	18	12	240m²	240m ²	4320m ²	2,880m ²
Executive Suites								_		
(King bed + Universal Access)	16	16	30m ²	30m ²	2	2	240m²	240m ²	480m²	480m ²
Deluxe Hotel Suites										
(Queen bed)	288	432	20m ²	20m ²	24	36	240m²	240m ²	5760m²	8,640m ²
Standard Hotel Suites										
(Queen long double wide bed)	336	336	15m ²	15m ²	21	21	240m²	240m ²	5040m²	5,040m ²
Total	832	928	NA	NA	71	77	NA	NA	17520m ²	18,960m ²
Laundry Block	NA	NA	240m ²	240m ²	2	2	240m ²	240m ²	480m²	480m ²
Gym	NA	NA	NA	NA	2	2	242m ²	242m ²	484m²	484m ²
Ablution Block	NA	NA	NA	NA	1	2	25m ²	60m ²	25 ㎡	120m ²
Ice Room	NA	NA	NA	NA	1	1	18m ²	18m ²	18m²	18m ²
Bar Area	NA	NA	NA	NA	1	1	475m ²	475m ²	475m ²	475m ²
Customer Area	NA	NA	130m ²	130m ²	NA	NA	NA	NA	NA	NA
Covered Area	NA	NA	620m²	475m ²	NA	NA	NA	NA	NA	NA
Indoor Bar	NA	NA	NA	NA	NA	NA	190m ²	190m ²	190m²	190m ²
Reception		NA		1		NA		415m ²	415	415m ²
TOTAL L	TOTAL HOTEL AREA SITE COVER					Area Old				
IOIALII				,	19607㎡	21,140m ²				

Restaurant Use

Type	Area					
Type	New	Old				
Restaurant	758m²	760m ²				
Cooking and Storage Area	205m²	358m²				
Dining Area	396m²	420m ²				
Servery	158m²	NA				
TOTAL RESTAURANT AREA SITE COVER	758m²	760				
Outdoor Area/Open Space	4068m²	360m ²				

Car Park Bays

Darking Pays	Qty				
Parking Bays	New	Old			
Standard Parking Bays (5.5 X 2.7)	498 BAYS	614 BAYS			
14 Seat Mini Bus Parking Bays (6.0 X 2.7)	112 BAYS	0 BAYS			
Universal Parking Bays(5.5 X 3.2)	16 BAYS	11 BAYS			
Motor Bike Bays (1.2 x 2.5)	8 BAYS	14 BAYS			
Push bike bays (1.2 x 2.5)	22 BAYS	4 BAYS			
TOTAL BAYS	656 BAYS	639 BAYS			

Total Landscape Area

Typo	Area				
Type	New	Old			
Landscape	12096m²	12,453m ²			

DEVELOPMENT
ASSESSMENT PANEL

APPROVED
15-Aug-2024

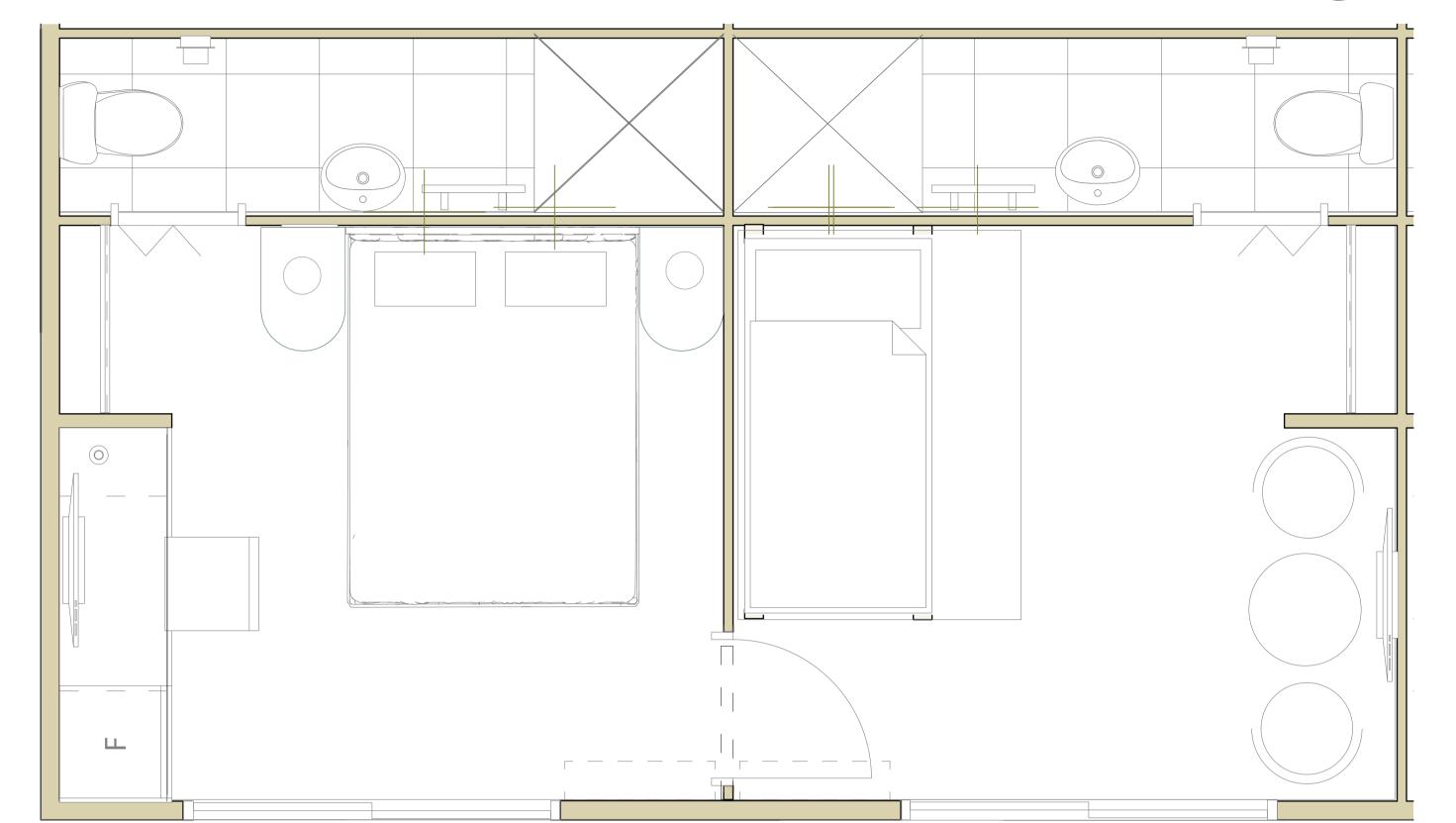
		MIX USE HOTEL AND RESTAURANT	DEVELOPMENT SUMMARY	DEVELOPMENT APPLICATION	North	Job No. Drawing No. 24004 A0.2(V.2) Cad File 24004-SK					*: CK ARCHITECTURE
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FAMILY HOTEL SUITE 144 ROOMS @ 30m²

DEVELOPMENT
ASSESSMENT PANEL

APPROVED

15-Aug-2024





MIX USE HOTEL AND RESTAURANT
LOT 2654 BAYVIEW ROAD,
GAP RIDGE, WA

FAMILY HOTEL SUITE - 3D RENDER

DEVELOPMENT APPLICATION

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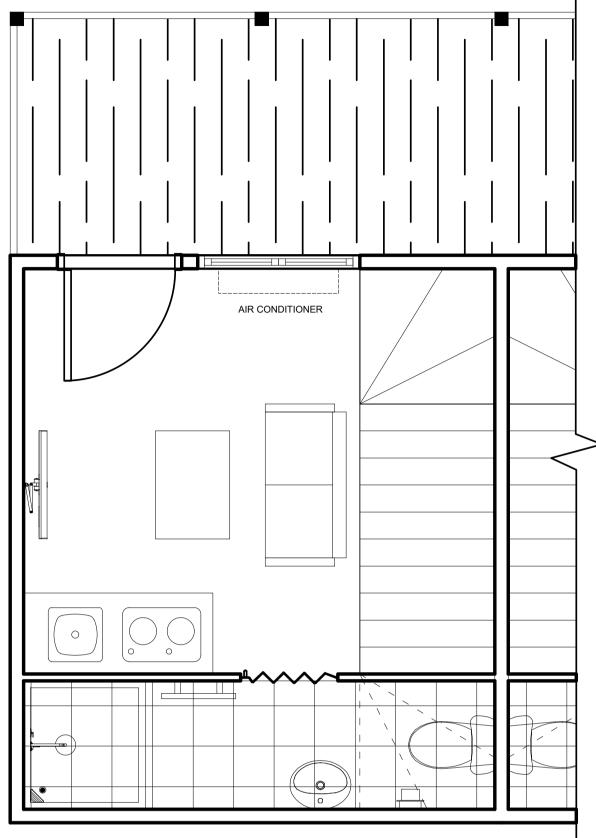
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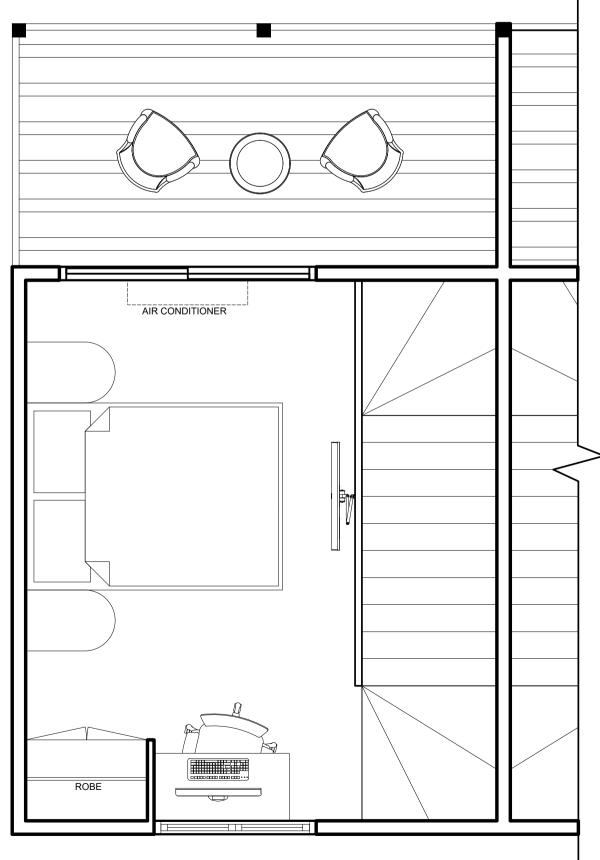
OCEAN VIEW SUITE 48 ROOMS @ 40m²

DEVELOPMENT **ASSESSMENT PANEL** APPROVED

15-Aug-2024







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								MIX USE HOTEL AND
								DECTALIDANT
								RESTAURANT
								LOT 2654 BAYVIEW ROAD,
								LOT 2034 DATVILVE NOAD,
								GAP RIDGE, WA
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Design Stage OCEAN VIEW SUITE - 3D RENDER DEVELOPMENT APPLICATION

Job No. Drawing No. 24004 A0.4(V.2) Cad File 24004**-**SK Designed Drawn

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EXECUTIVE / UA HOTEL SUITE 16 ROOMS @ 30m²



	MIX USE HOTEL AND RESTAURANT	EXECUTIVE HOTEL SUITE - Design Stage Design Stage DEVELOPMENT APPLICATION	North	Job No. Drawing No. 24004 Cad File		CK ARCHITECTURE
Date Revision No. By Date Revision No.	LOT 2654 BAYVIEW ROAD, GAP RIDGE, WA	The full ownership and design illustrated by this drawing is the copyright of C&K Architecture and may not be copied or reproduced in any form without written consent of the company directors			Date Scale Rev. 07/12 NTS	ARCHITECTURE INTERIORS L1, 424 Burke Road, Camberwell VIC 3124, AUS +61 3 9889 0722 info@ckarchitecture.com.au

DELUXE HOTEL SUITE 288 ROOMS @ 20m²



DEVELOPMENT ASSESSMENT PANEL

APPROVED

15-Aug-2024

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Drawing Title DELUXE HOTEL SUITE - 3D RENDER

DEVELOPMENT APPLICATION

Design Stage

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24004**-**SK

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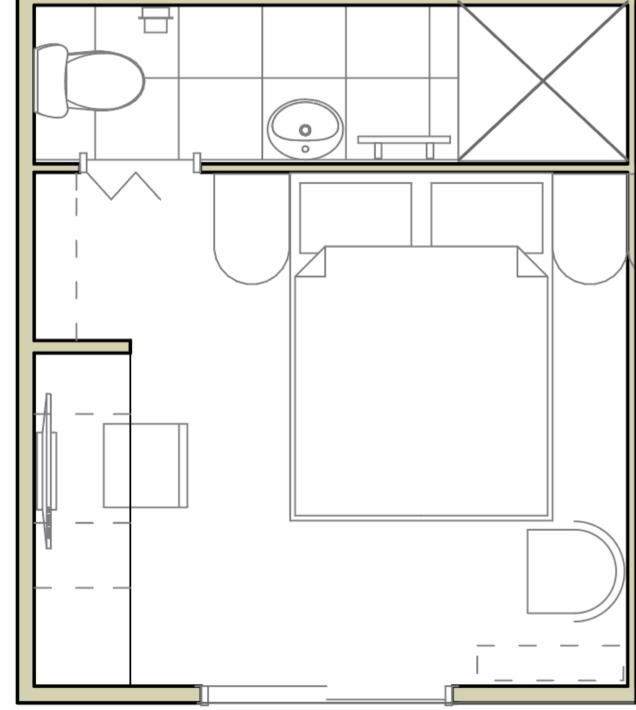
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STANDARD HOTEL SUITE 336 ROOMS @ 15m²

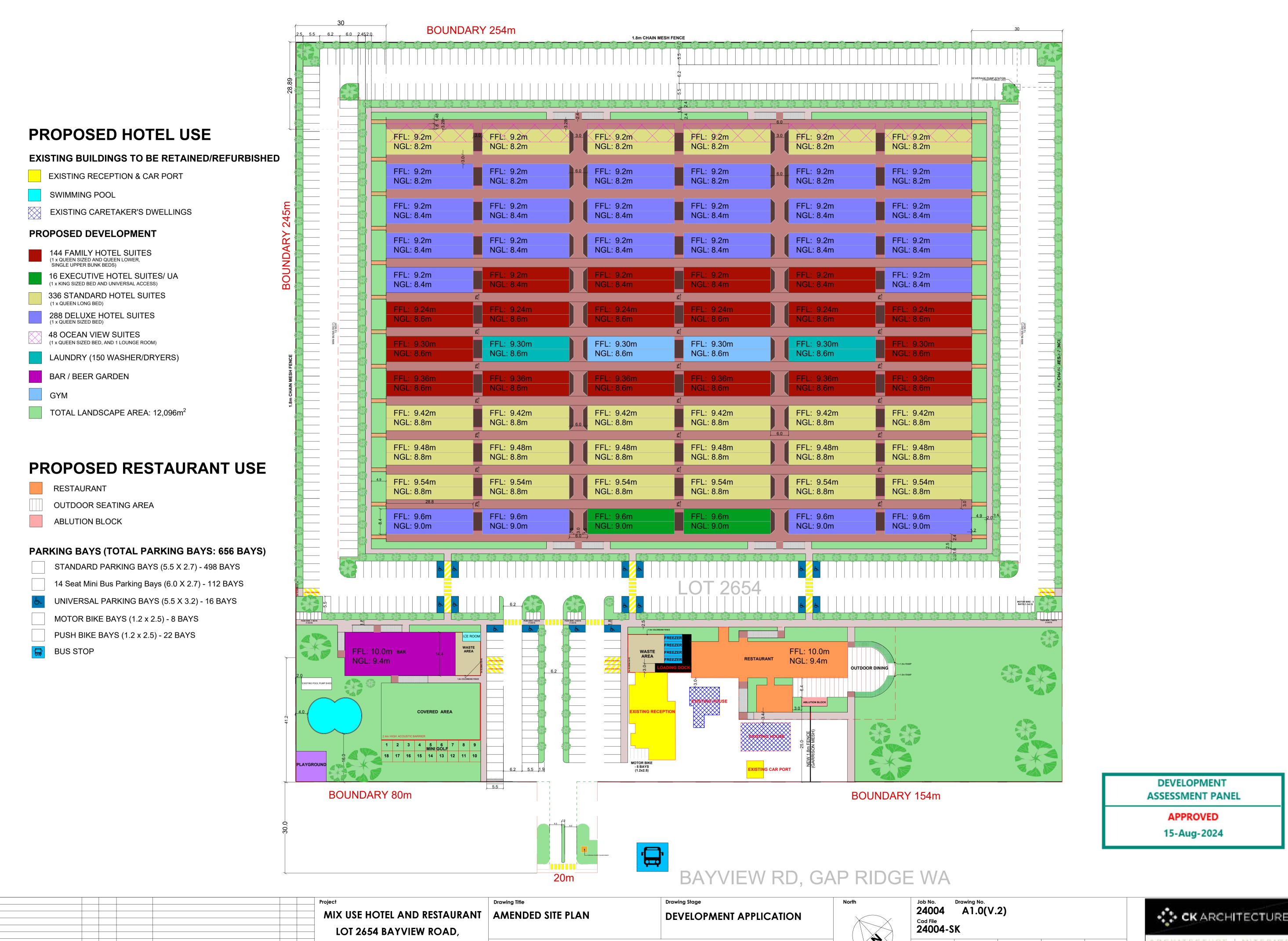


DEVELOPMENT
ASSESSMENT PANEL

APPROVED
15-Aug-2024



	Project MIX USE HOTEL AND RESTAURANT	STANDARD HOTEL SUITE - DEVELOPMENT APPLICATION 3D RENDER	North	Job No. Drawing No. 24004 A0.7(V.2) Cad File 24004-SK		CK ARCHITECTURE
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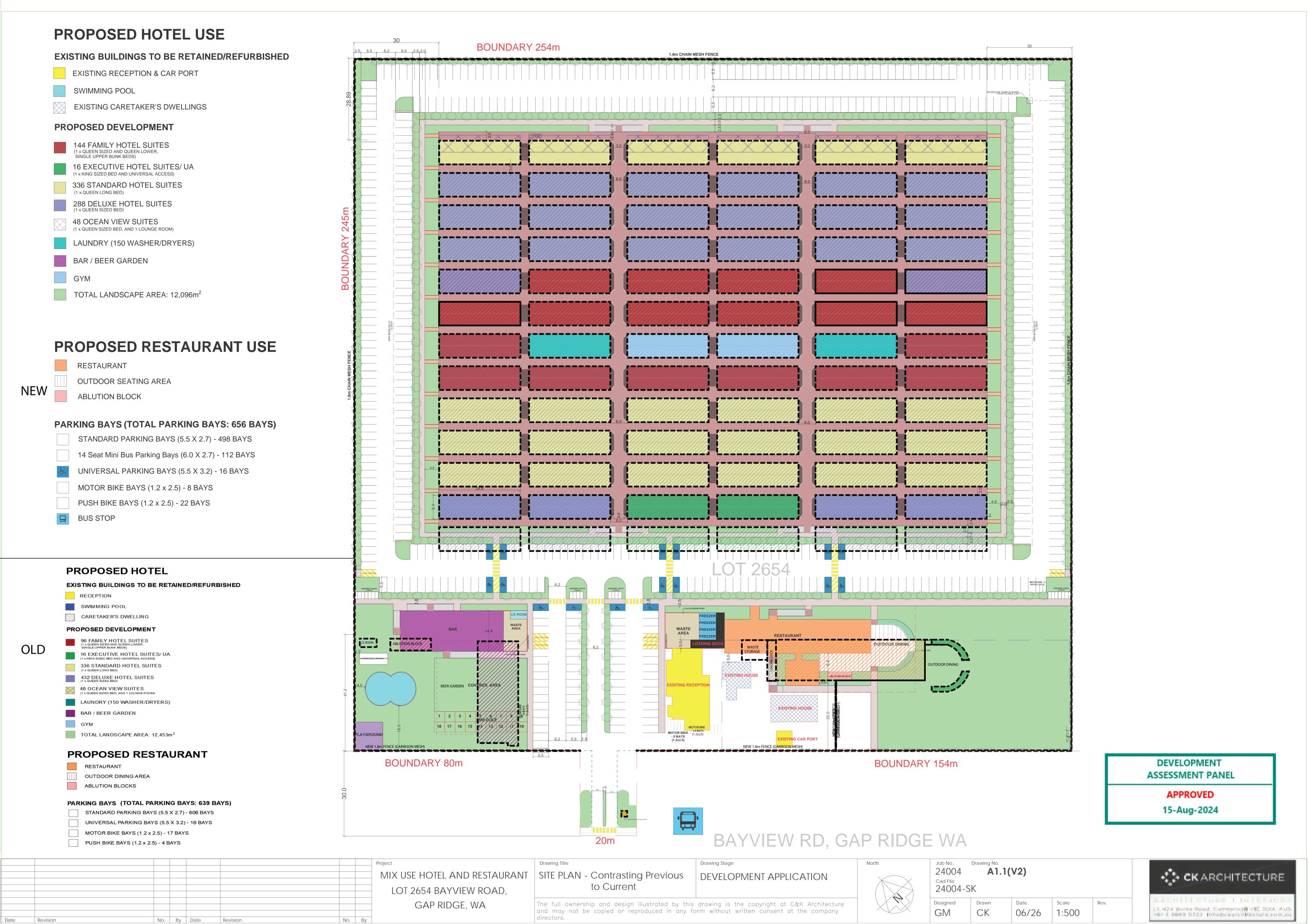
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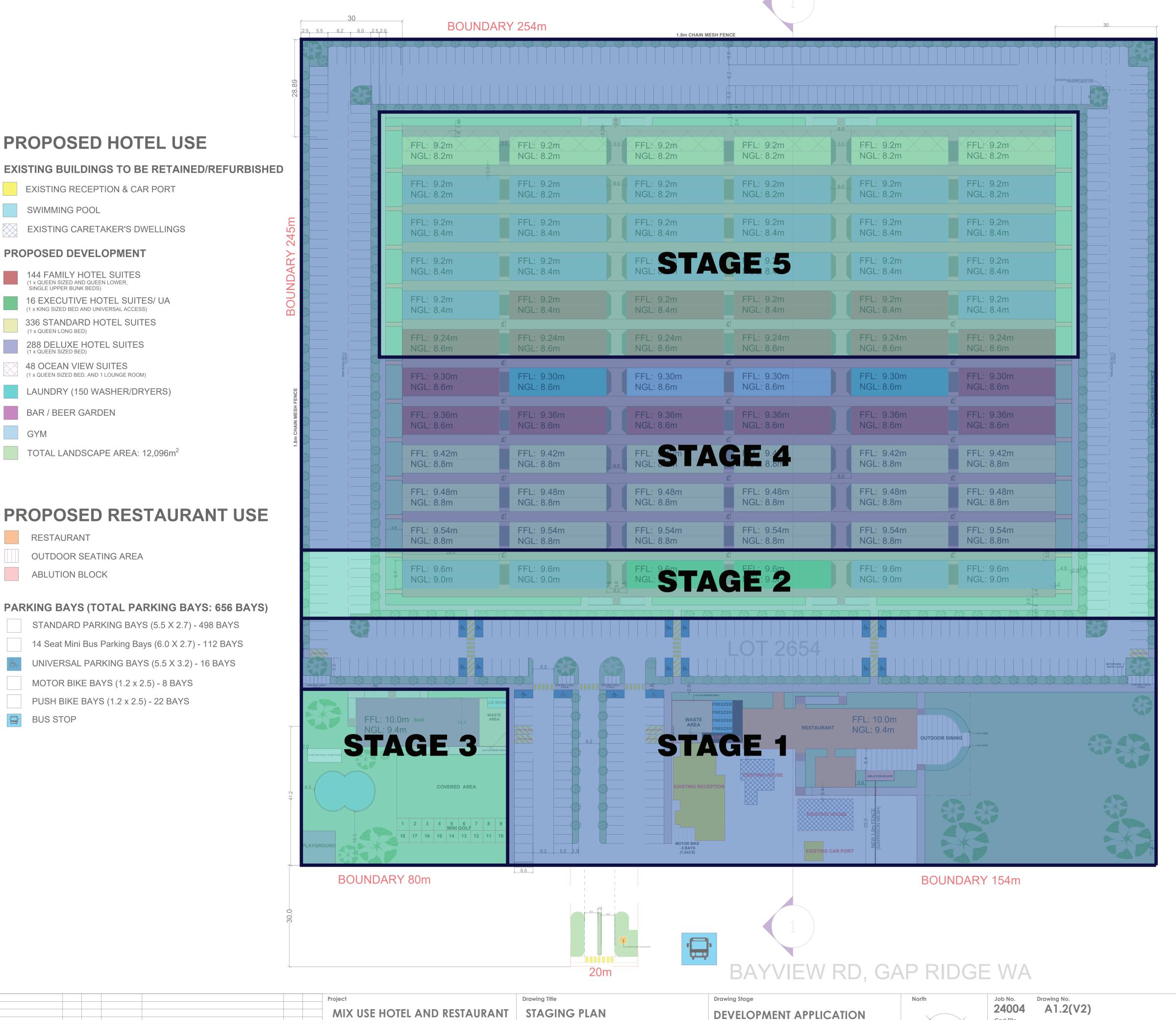
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DEVELOPMENT ASSESSMENT PANEL

> **APPROVED** 15-Aug-2024

LOT 2654 BAYVIEW ROAD, GAP RIDGE, WA

PROPOSED HOTEL USE

EXISTING CARETAKER'S DWELLINGS

16 EXECUTIVE HOTEL SUITES/ UA 1 x KING SIZED BED AND UNIVERSAL ACCESS)

LAUNDRY (150 WASHER/DRYERS)

TOTAL LANDSCAPE AREA: 12,096m²

STANDARD PARKING BAYS (5.5 X 2.7) - 498 BAYS

14 Seat Mini Bus Parking Bays (6.0 X 2.7) - 112 BAYS

UNIVERSAL PARKING BAYS (5.5 X 3.2) - 16 BAYS

MOTOR BIKE BAYS (1.2 x 2.5) - 8 BAYS

PUSH BIKE BAYS (1.2 x 2.5) - 22 BAYS

No. By Date

336 STANDARD HOTEL SUITES

288 DELUXE HOTEL SUITES (1 x QUEEN SIZED BED)

EXISTING RECEPTION & CAR PORT

SWIMMING POOL

PROPOSED DEVELOPMENT

SINGLE UPPER BUNK BEDS)

48 OCEAN VIEW SUITES (1 x QUEEN SIZED BED, AND 1 LOUNGE ROOM)

BAR / BEER GARDEN

RESTAURANT

BUS STOP

OUTDOOR SEATING AREA

ABLUTION BLOCK

GYM

(1 x QUEEN LONG BED)

144 FAMILY HOTEL SUITES

INDICATIVE

DEVELOPMENT APPLICATION

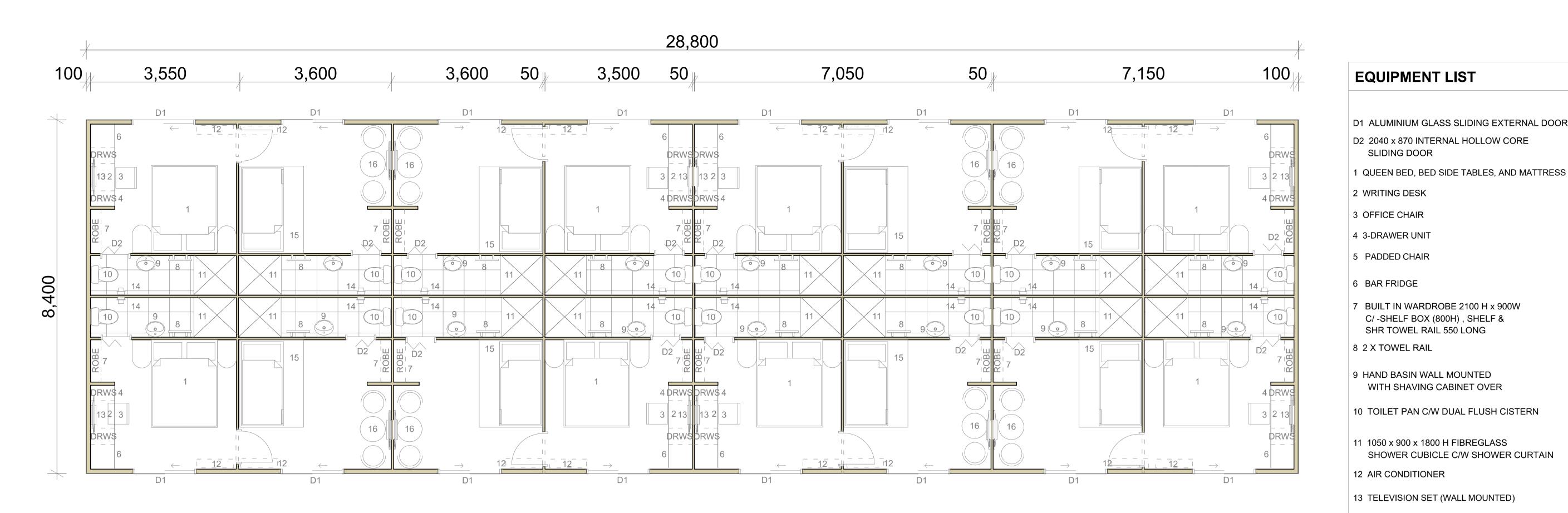
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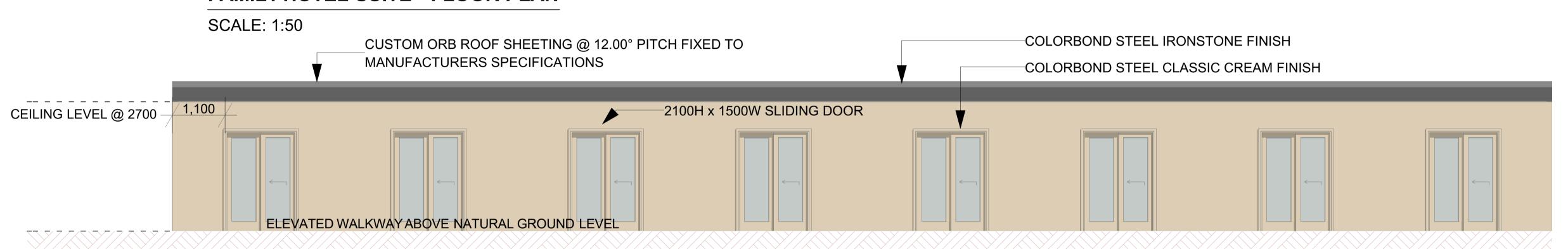


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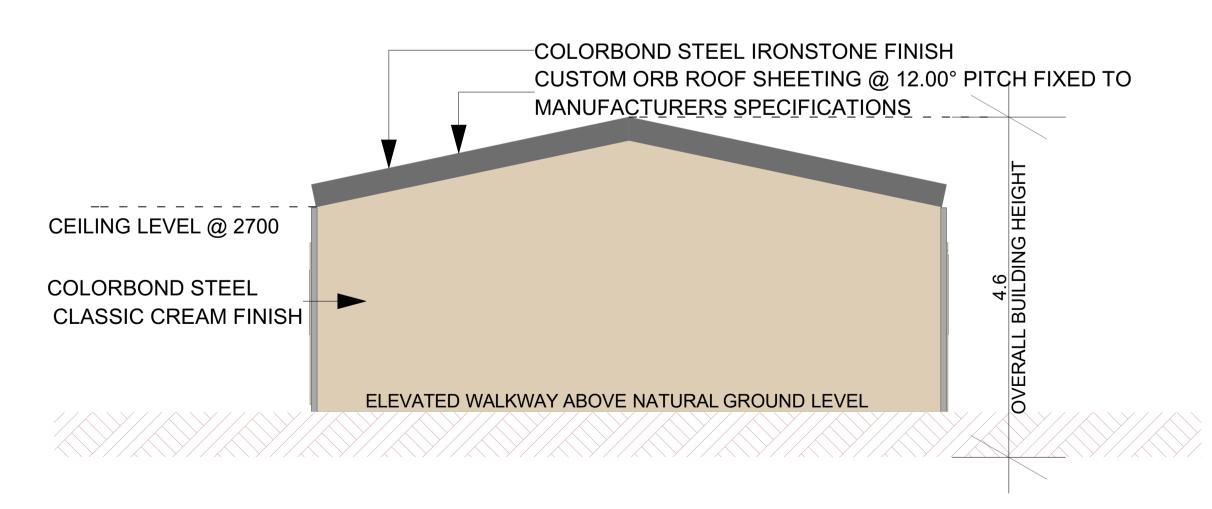


FAMILY HOTEL SUITE - FLOOR PLAN



FAMILY HOTEL SUITE - FRONT AND REAR ELEVATION

SCALE: 1:50

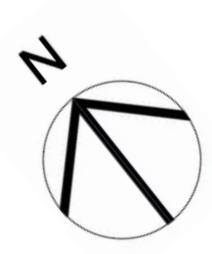


FAMILY HOTEL SUITE - BOTH SIDE ELEVATION

SCALE: 1:50

DEVELOPMENT
ASSESSMENT PANEL

APPROVED
15-Aug-2024



14 3 X TOILET ROLL HOLDER

15 BUNK BEDS: 1 LOWER QUEEN BED, AND

NOTE: DIMENSIONS TO STUDWORK ONLY.

LINING MARGIN NOT ALLOWED FOR

1 UPPER KING SINGLE BED

No. By Date

Revision

MIX USE HOTEL AND RESTAURANT
LOT 2654 BAYVIEW ROAD,
GAP RIDGE, WA

FAMILY HOTEL SUITE - FLOOR PLAN AND ELEVATIONS

DEVELOPMENT APPLICATION

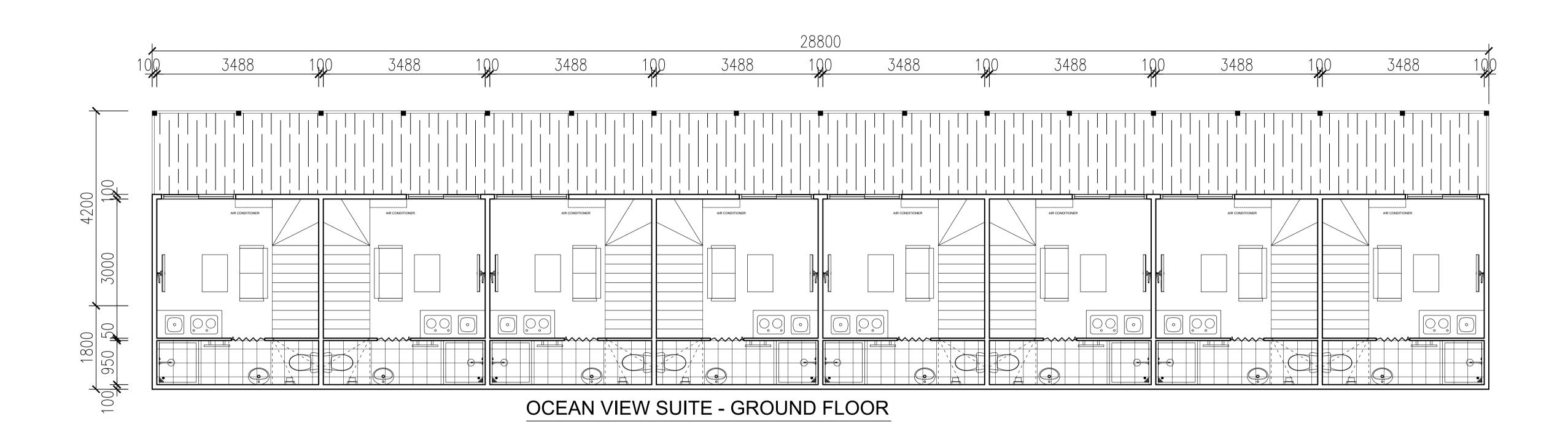
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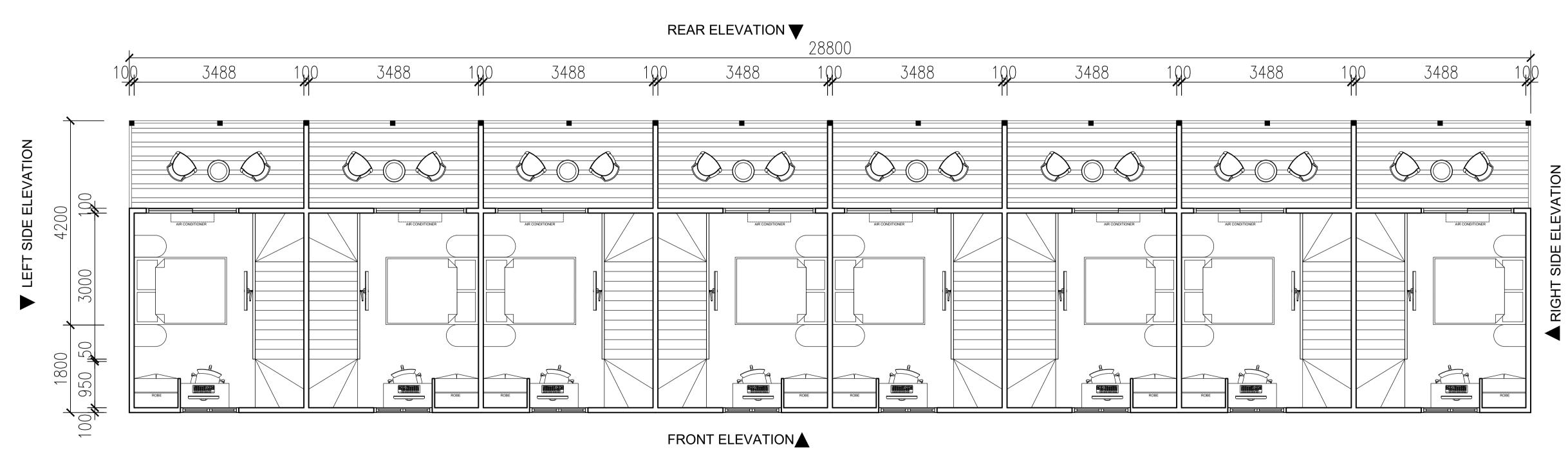
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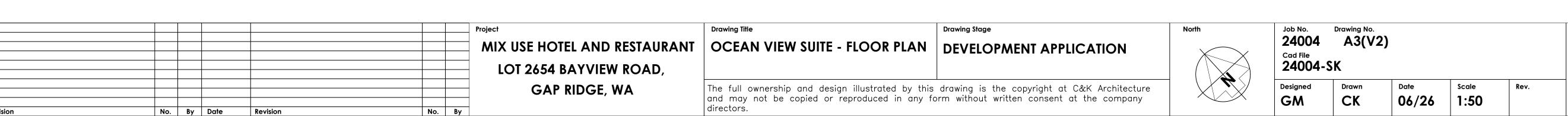




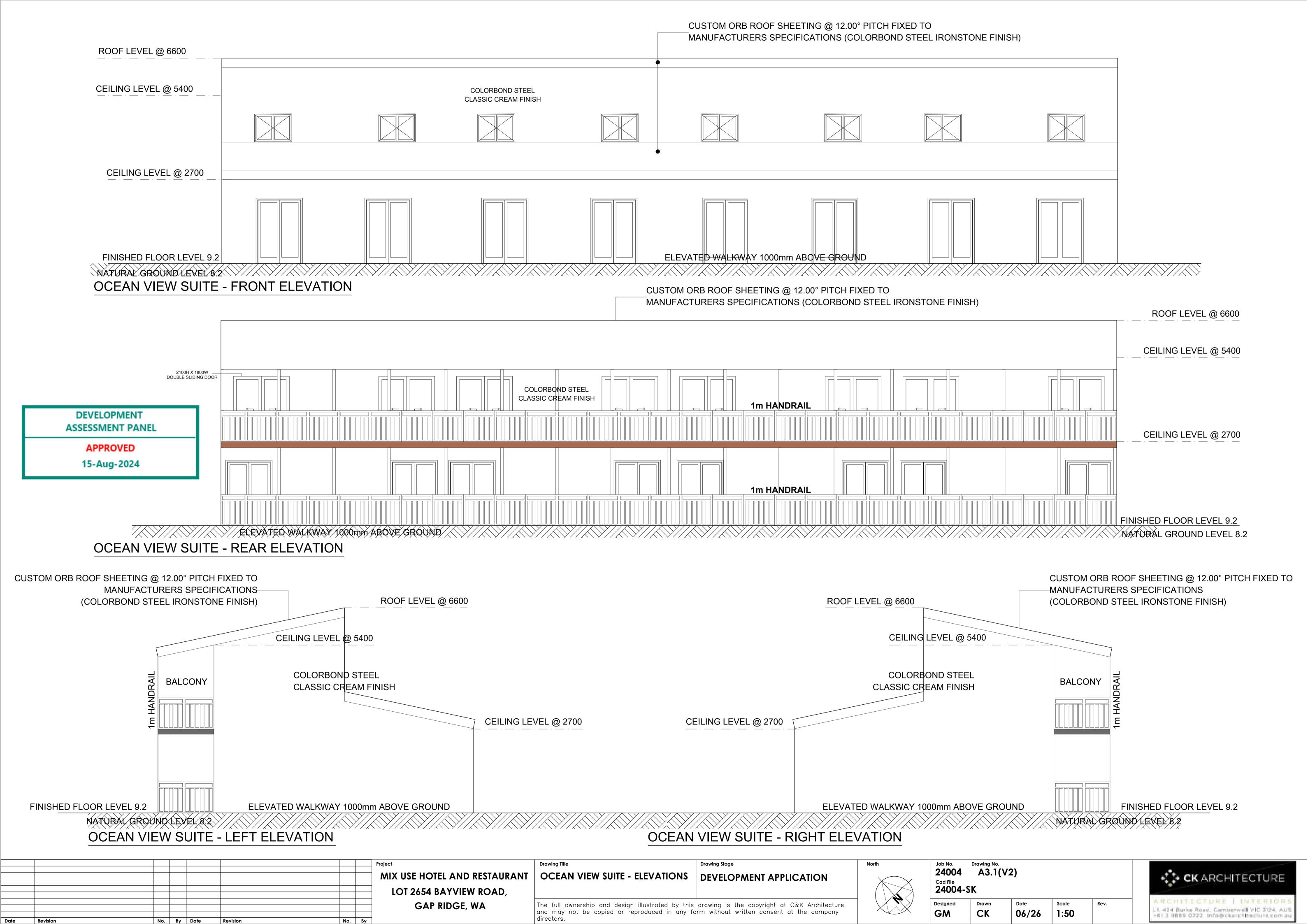


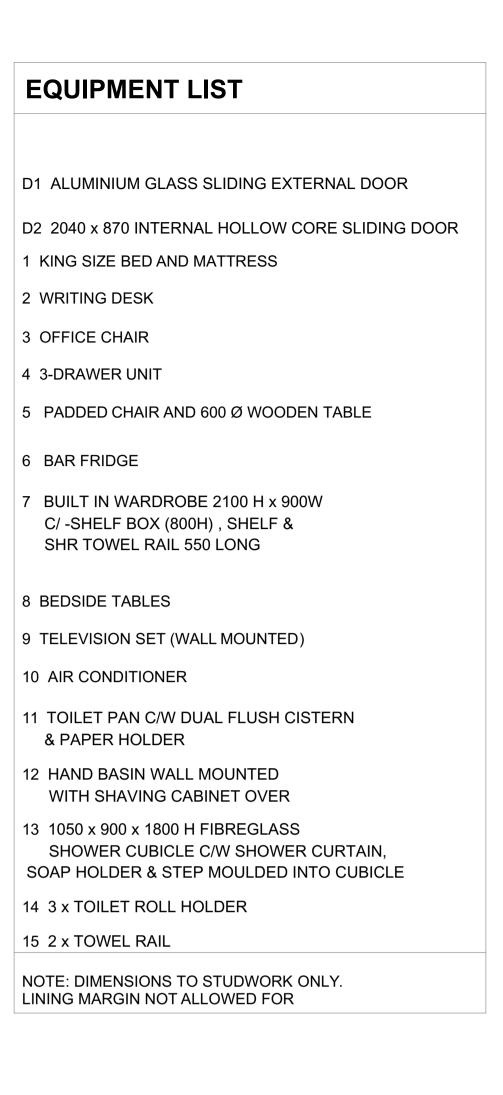
OCEAN VIEW SUITE - FIRST FLOOR

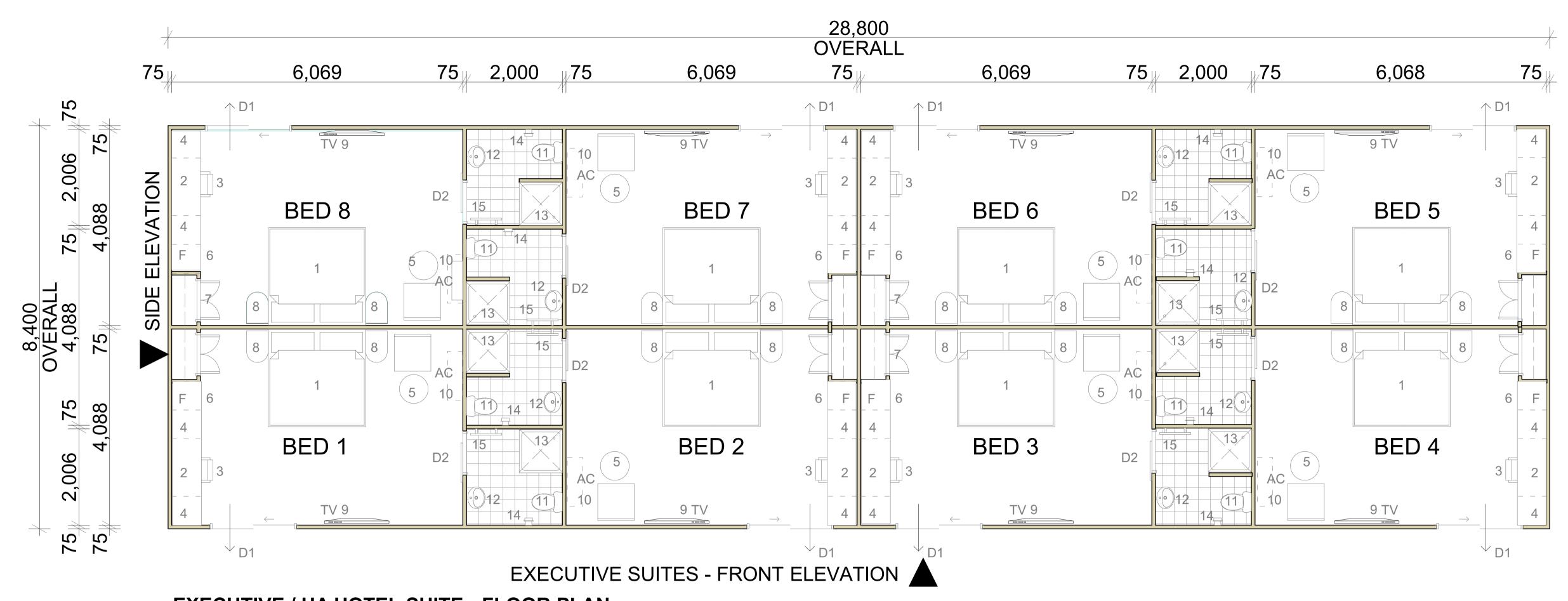




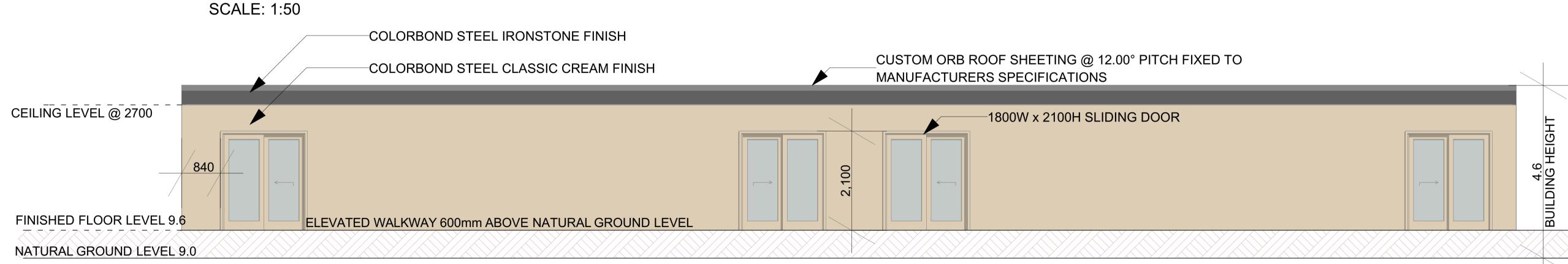








EXECUTIVE / UA HOTEL SUITE - FLOOR PLAN



EXECUTIVE / UA HOTEL SUITE - FRONT AND REAR ELEVATION

SCALE: 1:50 COLORBOND STEEL IRONSTONE FINISH CUSTOM ORB ROOF SHEETING @ 12.00° PITCH FIXED TO MANUFACTURERS SPECIFICATIONS _ CEILING LEVEL @ 2700 **COLORBOND STEEL** CLASSIC CREAM FINISH FINISHED FLOOR LEVEL 9.6 ELEVATED WALKWAY 600mm ABOVE NATURAL GROUND LEVEL NATURAL GROUND LEVEL 9.0

EXECUTIVE / UA HOTEL SUITE - BOTH SIDE ELEVATION

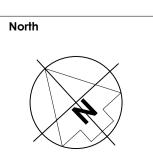
SCALE: 1:50

No. By Date

MIX USE HOTEL AND RESTAURANT LOT 2654 BAYVIEW ROAD, GAP RIDGE, WA

EXECUTIVE HOTEL - FLOOR PLAN AND ELEVATIONS

Drawing Stage DEVELOPMENT APPLICATION The full ownership and design illustrated by this drawing is the copyright at C&K Architecture and may not be copied or reproduced in any form without written consent at the company



Job No.	Drawing No.			
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24004-S	K			
Designed	Drawn	Date	Scale	Rev.
GM	CK	07/12	1:50	

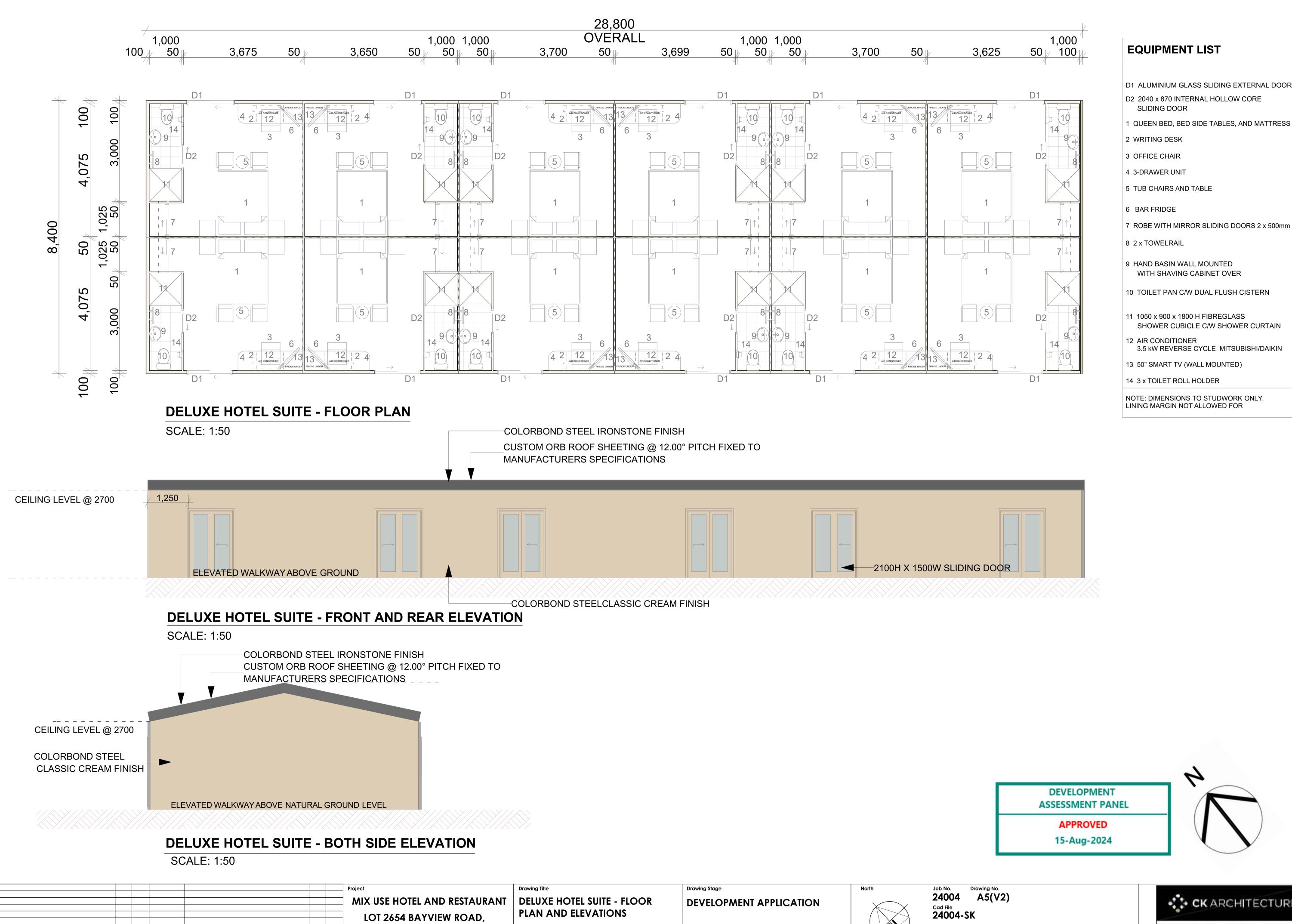
DEVELOPMENT

ASSESSMENT PANEL

APPROVED

15-Aug-2024





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GAP RIDGE, WA

Revision

No. By Date

CK ARCHITECTURE L1. 424 Burke Road, Camberwell VIC 3124, AUS +61.5 9669 0722 Info@ckarchitecture.com.ar

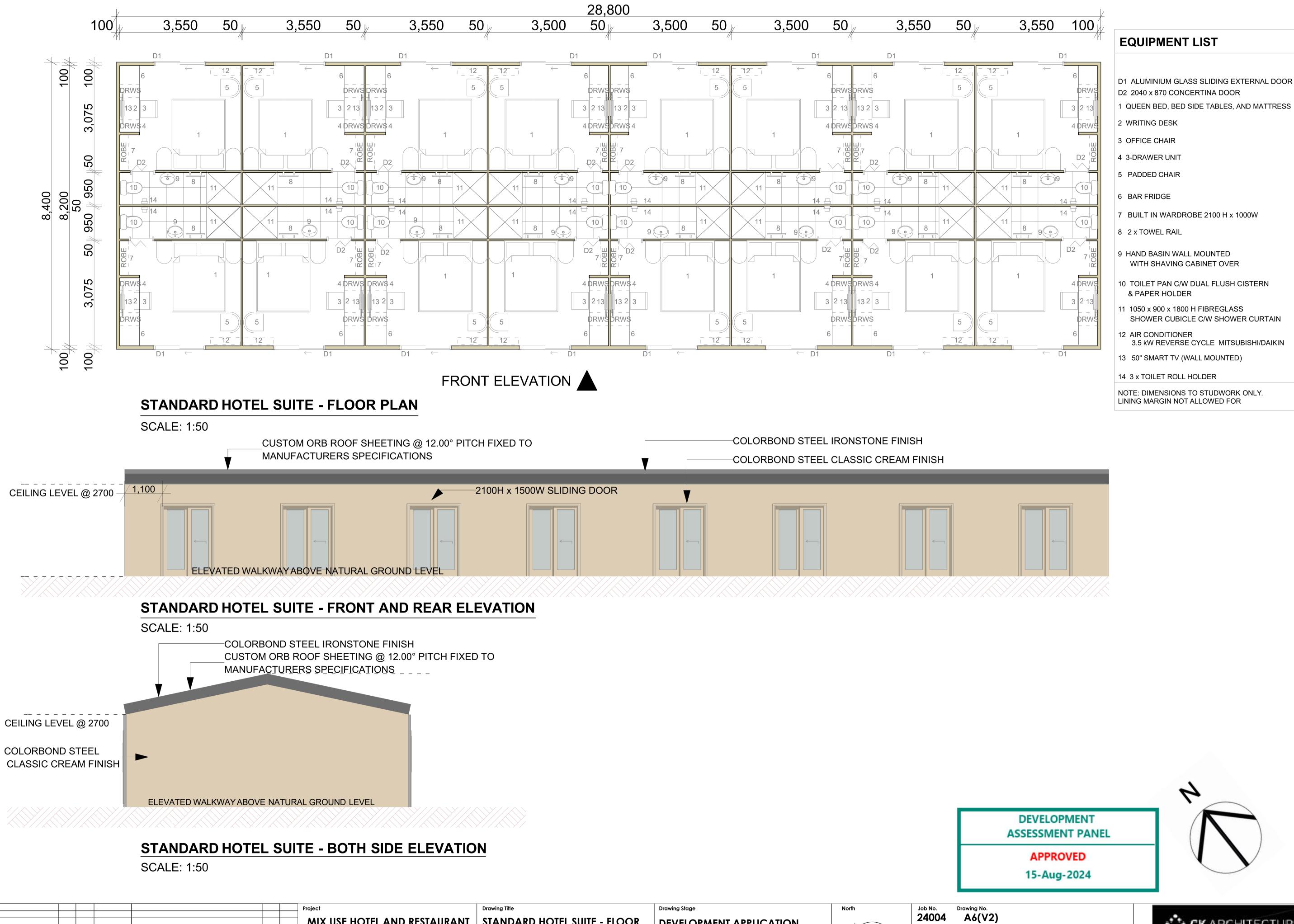
Designed

CK

06/26

1:50

GM



STANDARD HOTEL SUITE - FLOOR

PLAN AND ELEVATIONS

DEVELOPMENT APPLICATION

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24004-SK

CK

06/26

1:50

GM

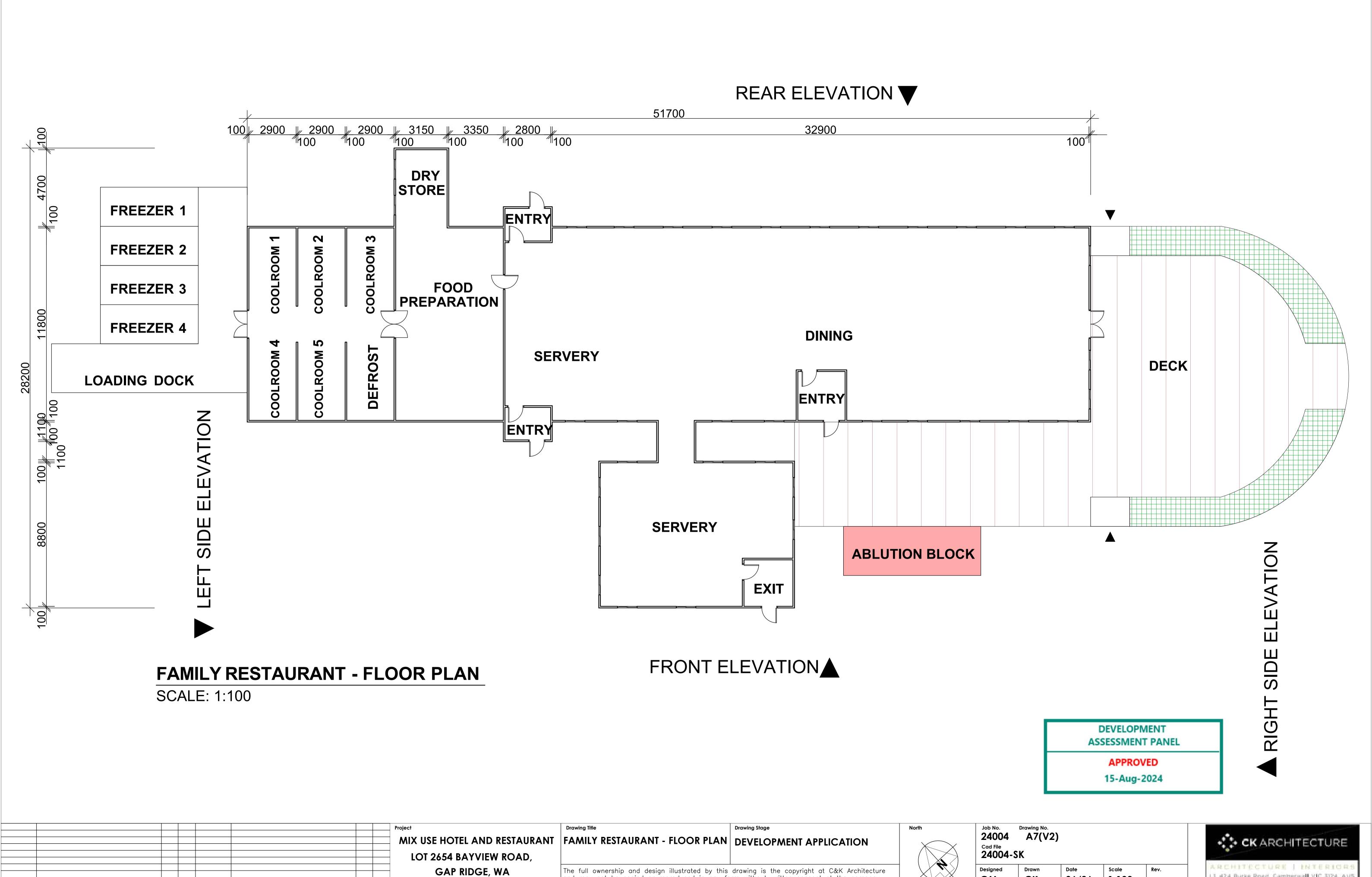
MIX USE HOTEL AND RESTAURANT

LOT 2654 BAYVIEW ROAD,

GAP RIDGE, WA

No. By Date

CK ARCHITECTURE +61 3 9869 0722 Info@ckarchitecture.com.ac



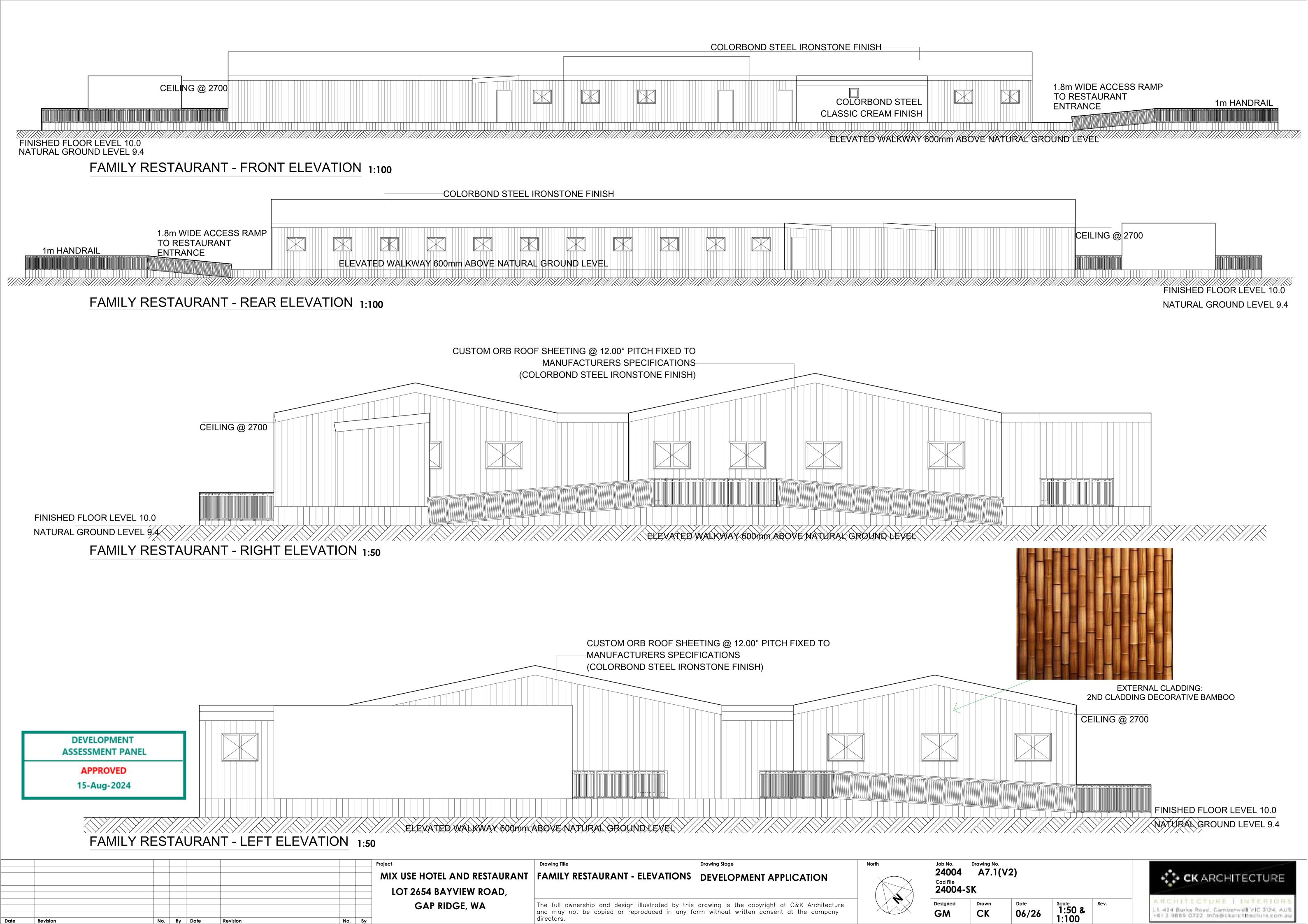
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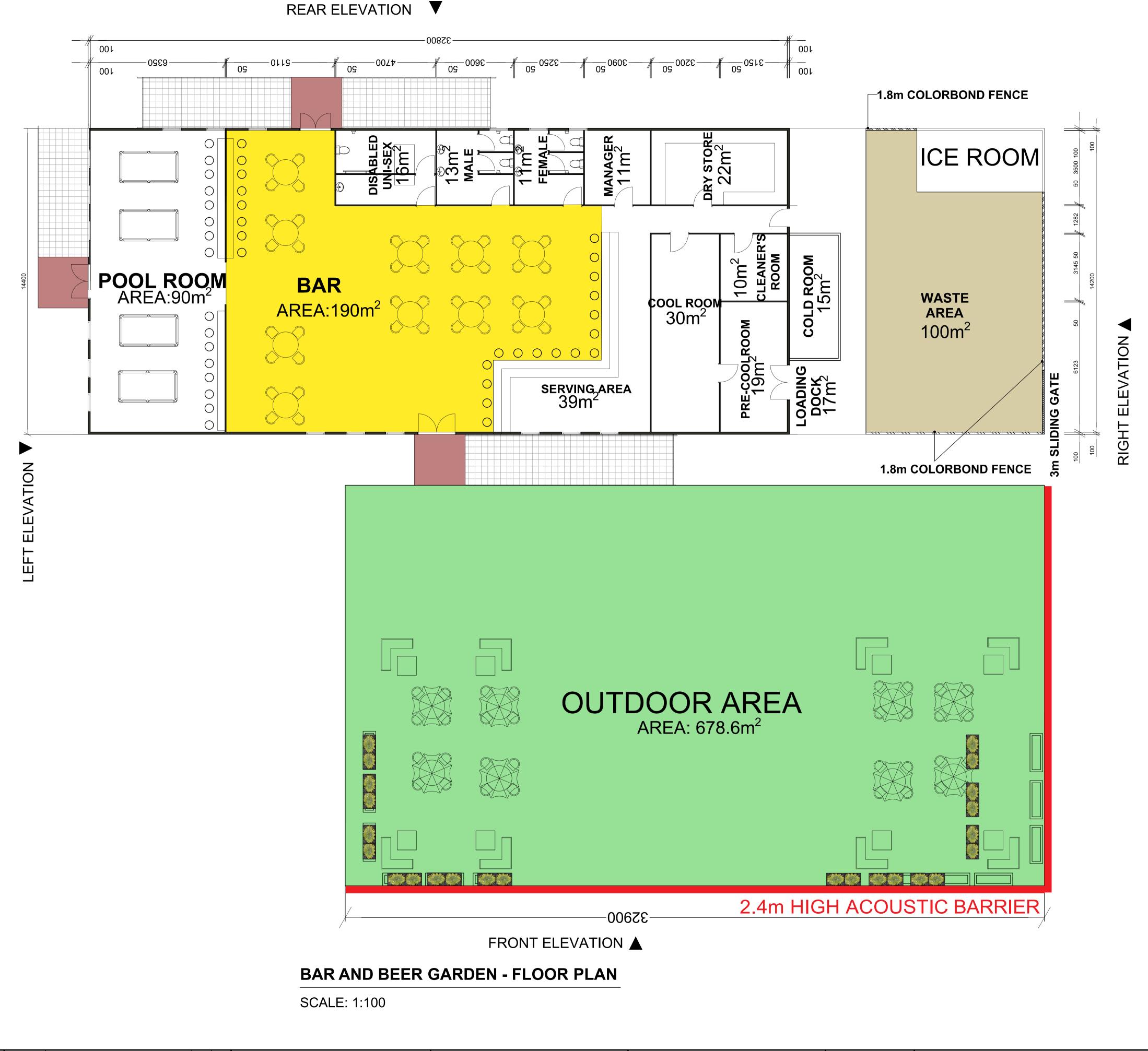
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GM

CK

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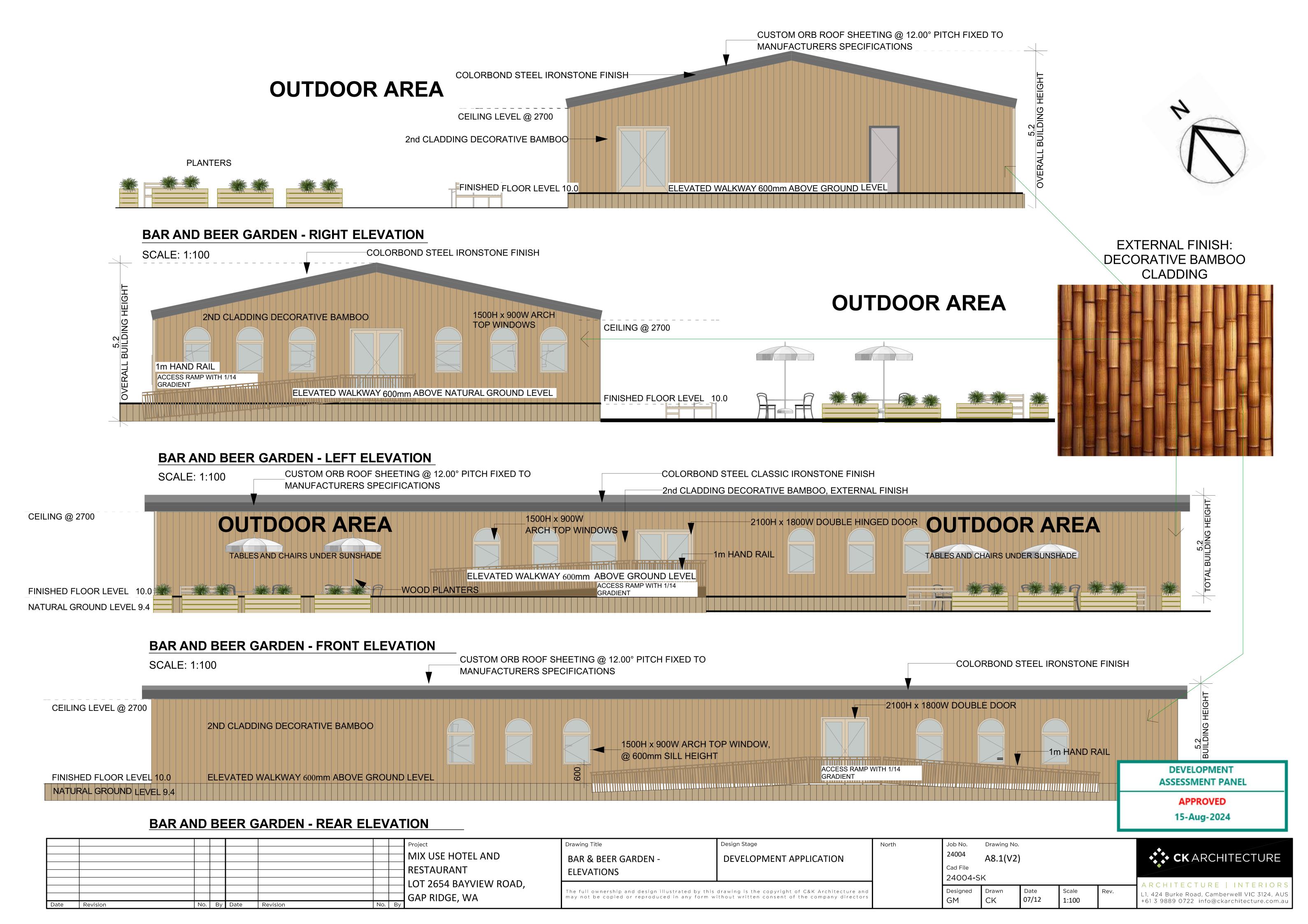
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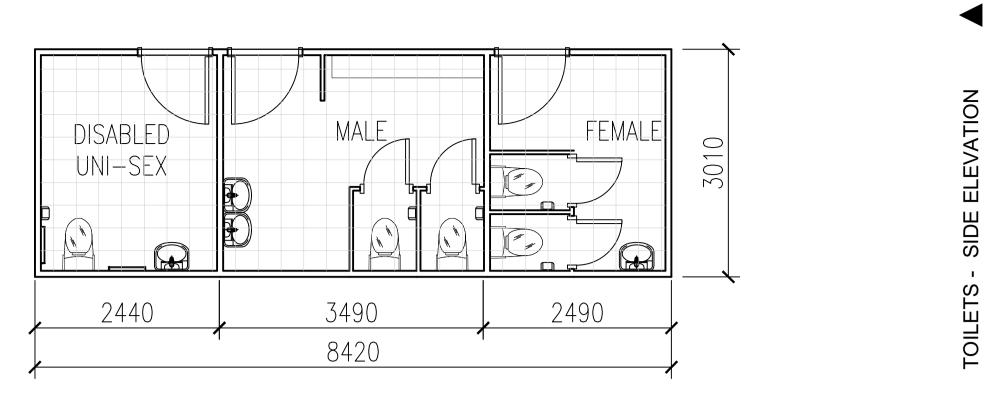
DEVELOPMENT

ASSESSMENT PANEL

APPROVED

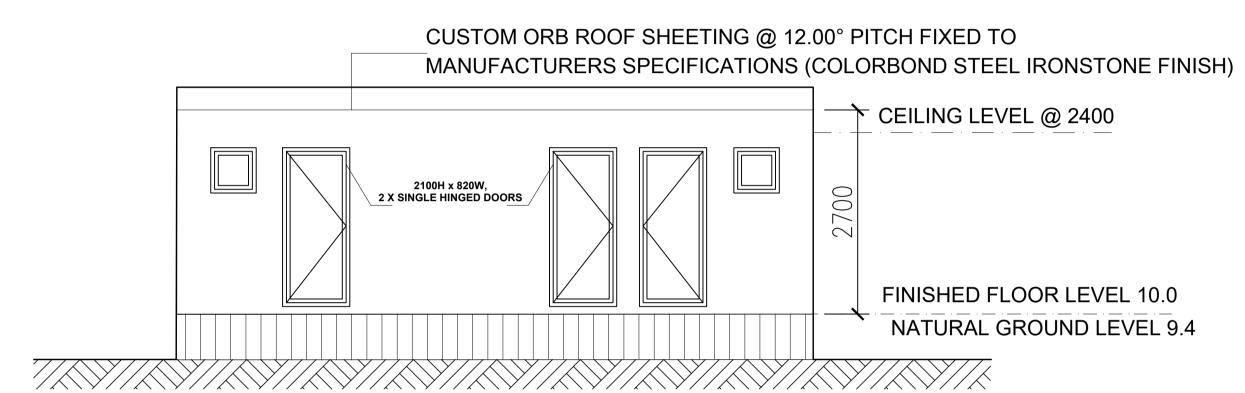
15-Aug-2024





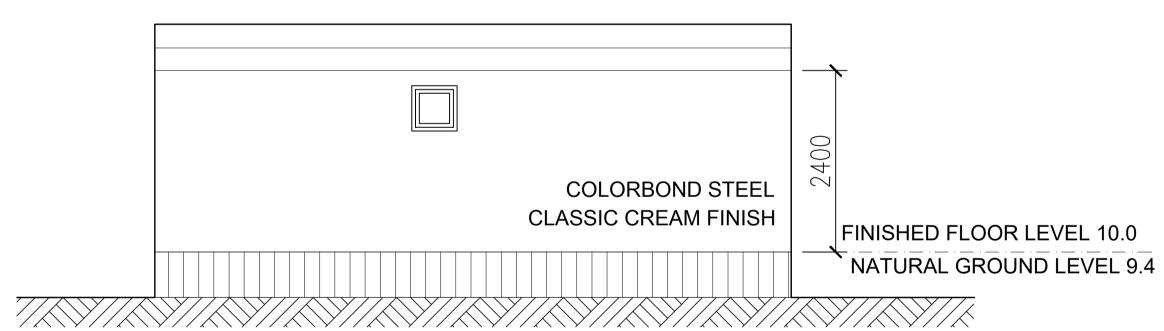
TOILETS - FRONT ELEVATION

SCALE: 1:50 ABLUTION BLOCK - FLOOR PLAN



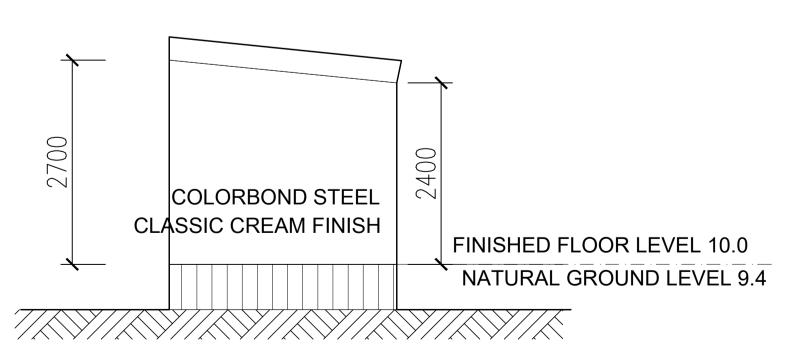
ABLUTION BLOCK - REAR ELEVATION

SCALE: 1:50



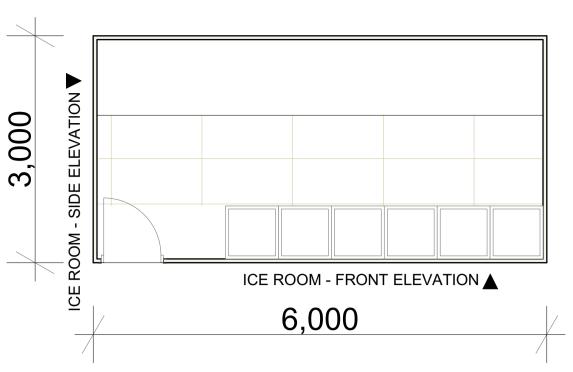
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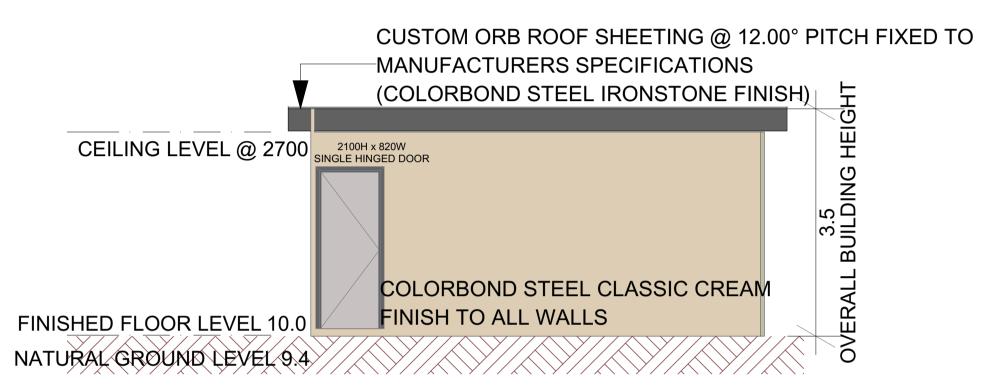
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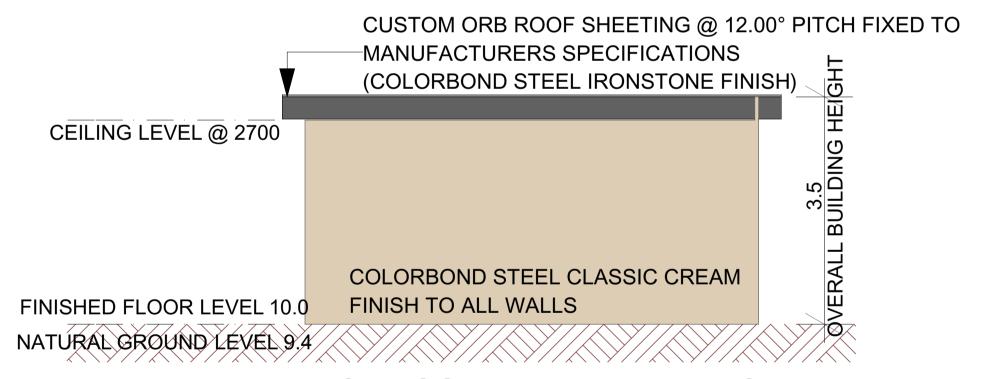
ICE ROOM - FLOOR PLAN

SCALE: 1:50

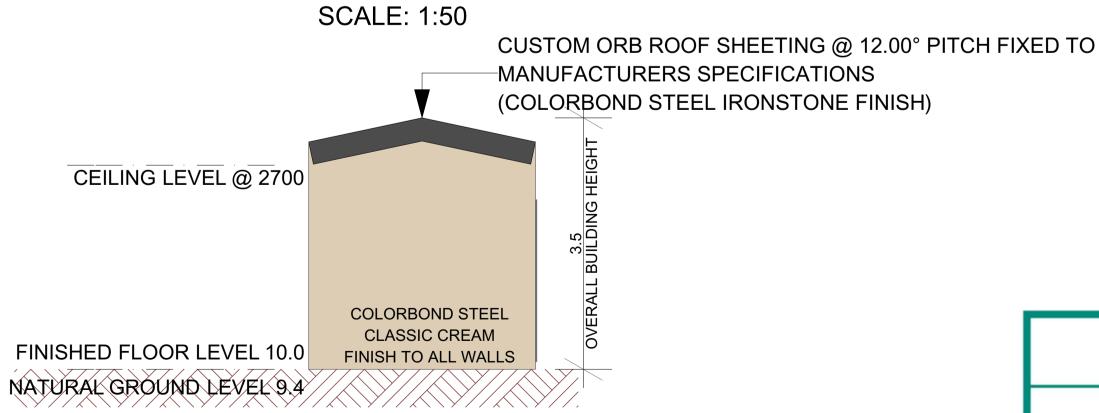


ICE ROOM - FRONT ELEVATION

SCALE: 1:50



ICE ROOM - REAR ELEVATION



ICE ROOM - BOTH SIDE ELEVATION

APPROVED 15-Aug-2024

DEVELOPMENT

ASSESSMENT PANEL

				SCALE: 1	:50		
		MIX USE HOTEL AND RESTAURANT	ABLUTION BLOCK & ICE ROOM - FLOOR PLAN & ELEVATIONS	DEVELOPMENT APPLICATION	North	Job No. Drawing No. 24004 A9(V2) Cad File 24004-SK	CK ARCHITECTURE
Date Revision	No. By Date Revision No	LOT 2654 BAYVIEW ROAD, GAP RIDGE, WA	The full ownership and design illustrated by thi may not be copied or reproduced in any form	s drawing is the copyright of C&K Architecture and without written consent of the company directors		Designed Drawn Date Scale Rev. GM CK 07/12 1:50	ARCHITECTURE INTERIORS L1, 424 Burke Road, Camberwell VIC 3124, AUS +61 3 9889 0722 info@ckarchitecture.com.au



Appendix B: Development Approval (DA24-O24-AMD1)

Our ref: DA24-024; A46668; PA68910 Enquiries: Jerom Hurley 9186 8557



Jade Wellings QSD Hire Pty Ltd PO Box 1078

MARYBOROUGH QLD 4650

Dear Jade

APPLICATION FOR AMENDMENT TO DEVELOPMENT APPROVAL DA24-024 DA24-024 (Amendment 1) - Hotel and Restaurant Development 275 BAYVIEW ROAD GAP RIDGE WA 6714

I refer to your recent request for consideration of amendments to the approved plans under Development Approval DA24-024 and wish to advise that amended plans have been approved, and remain subject to the conditions outlined in Development Approval DA24-024 dated 21 August 2024.

The amended plans are enclosed for your records. Please note, all development must be undertaken in accordance with the approved plans. Any departure from the layout and design shown on the approved plans shall not occur without the prior written consent of the City of Karratha.

Should you have any further queries please do not hesitate to contact Jerom Hurley on 9186 8557 during office hours or at jerom.hurley@karratha.wa.gov.au.

Yours sincerely

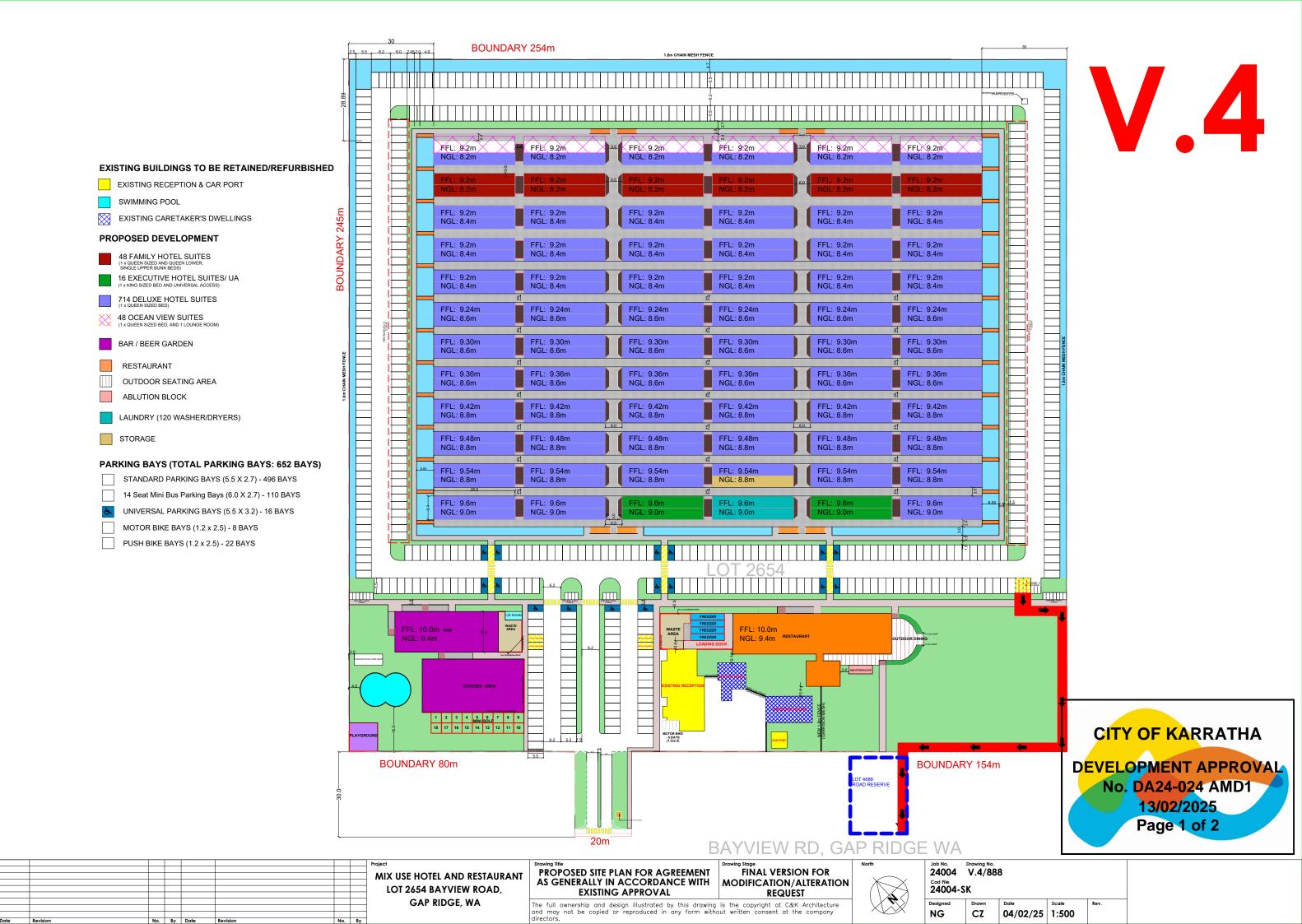
Virginia Miltrup

VMittop

CHIEF EXECUTIVE OFFICER

13 February 2025

Enc.: Approved plans



PROPOSED SITE PLAN FOR AGREEMENT AS GENERALLY IN ACCORDANCE WITH EXISTING APPROVAL V.4

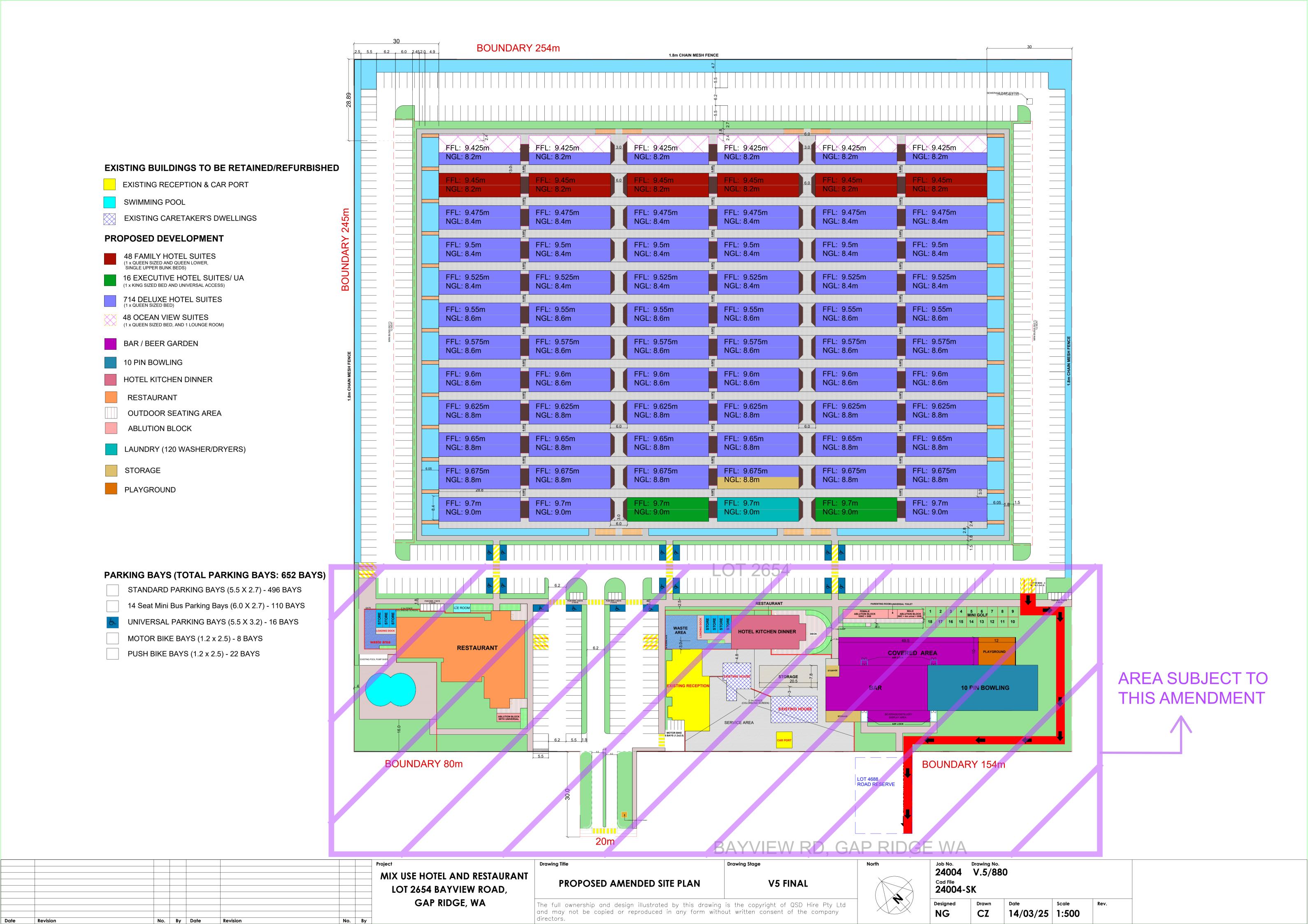
NET EFFECT OF PROPOSED MODIFICATIONS/ALTERATIONS

	Quan	Quantity Rooms			
Hotel Room Type	Qty Proposed	Qty Approved (As at 24/01/25)			
Ocean View Suites 40m2	48	48			
Family Suites 30m2	48	144			
Executive Suites 30m2	16	16			
Deluxe Hotel Suites 20m2	714	288			
Standard Hotel Suites 15m2	0	336			
Total	826	832			
NET ROOM CHANGE		-6			
		Area			
Various Poblic Buildings Type	Area Proposed	Area Approved (As at 24/01/25)			
Ablution Block	25	25			
Ice Room	18	18			
Usable Bar Area	320	320			
Covered Area	678m²	678m²			
Reception	415	415			
Restaurant	1121m ²	1121m ²			
Laundry Block	240	480			
Storage	120	0			
Total	2937	3057			
NET USABLE AREA CHANGE		-120			
		Qty			
Car Park	Proposed	Approved (As at 24/01/25)			
Standard Parking Bays (5.5 X 2.7)	496 BAYS	496 BAYS			
14 Seat Mini Bus Parking Bays (6.0 X 2.7)	110 BAYS	110 BAYS			
Universal Parking Bays(5.5 X 3.2)	16 BAYS	16 BAYS			
Motor Bike Bays (1.2 x 2.5)	8 BAYS	8 BAYS			
Push bike bays (1.2 x 2.5)	22 BAYS	22 BAYS			
TOTAL BAYS	652 BAYS	652 BAYS			
NET PARKING CHANGE		0			
Visual Impact	Proposed	Approved (As at 24/01/25)			
Built Form and Façade From Street	Not visible 100% Screened via landscaping	Not visible 100% Screened via landscaping			
Maximum Number of Stories	two	two			
NET Visual Impact CHANGE	nil	nil			





Appendix C: Development Plans



NET EFFECT OF PROPOSED AMENDMENTS

	Public Area			
Various Public Buildings Type	AMD - 2	AMD - 1		
	Area Proposed	Area Approved		
Bar and New 10 Pin Bowling Lounge	423 m ²	320 m ²		
Covered Area	490 m ²	678 m ²		
Reception Area	415 m ²	415 m ²		
Restaurant Dinning Area	533 m ²	576 m ²		
Playground Area	117 m ²	100 m ²		
Mini Golf Area	240 m ²	240 m ²		
Total	2218 m ²	2329 m ²		
NET USABLE AREA CHANGE		111 m ²		
		Qty		
Car Park	AMD - 2	AMD - 1		
	Proposed	Approved		
Standard Parking Bays (5.5 X 2.7)	496 BAYS	496 BAYS		
14 Seat Mini Bus Parking Bays (6.0 X 2.7)	110 BAYS	110 BAYS		
Universal Parking Bays(5.5 X 3.2)	16 BAYS	16 BAYS		
Motor Bike Bays (1.2 x 2.5)	8 BAYS	8 BAYS		
Push bike bays (1.2 x 2.5)	22 BAYS	22 BAYS		
TOTAL BAYS	652 BAYS	652 BAYS		
NET PARKING CHANGE	0			
Vienel Irone et	AMD - 2	AMD - 1		
Visual Impact	Proposed	Approved		
Built Form and Façade From Street	Not visible 100% Screened via landscaping	Not visible 100% Screened via landscaping		
Maximum Number of Storeys	two	two		
NET Visual Impact CHANGE	nil	nil		



PROPOSED AMENDED SITE PLAN TABLE OF RELEVANT STATISTICS

directors.

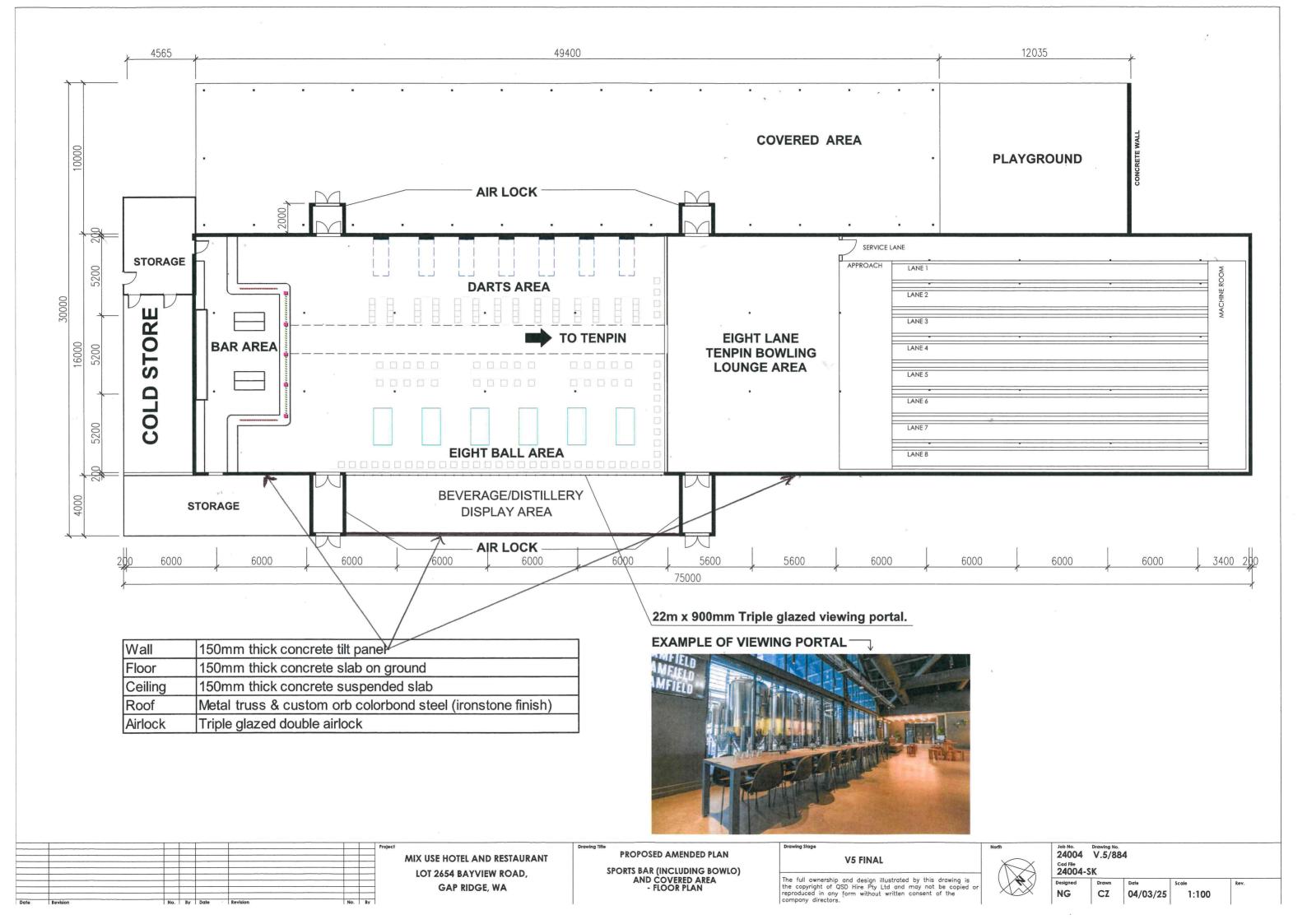
V5 FINAL

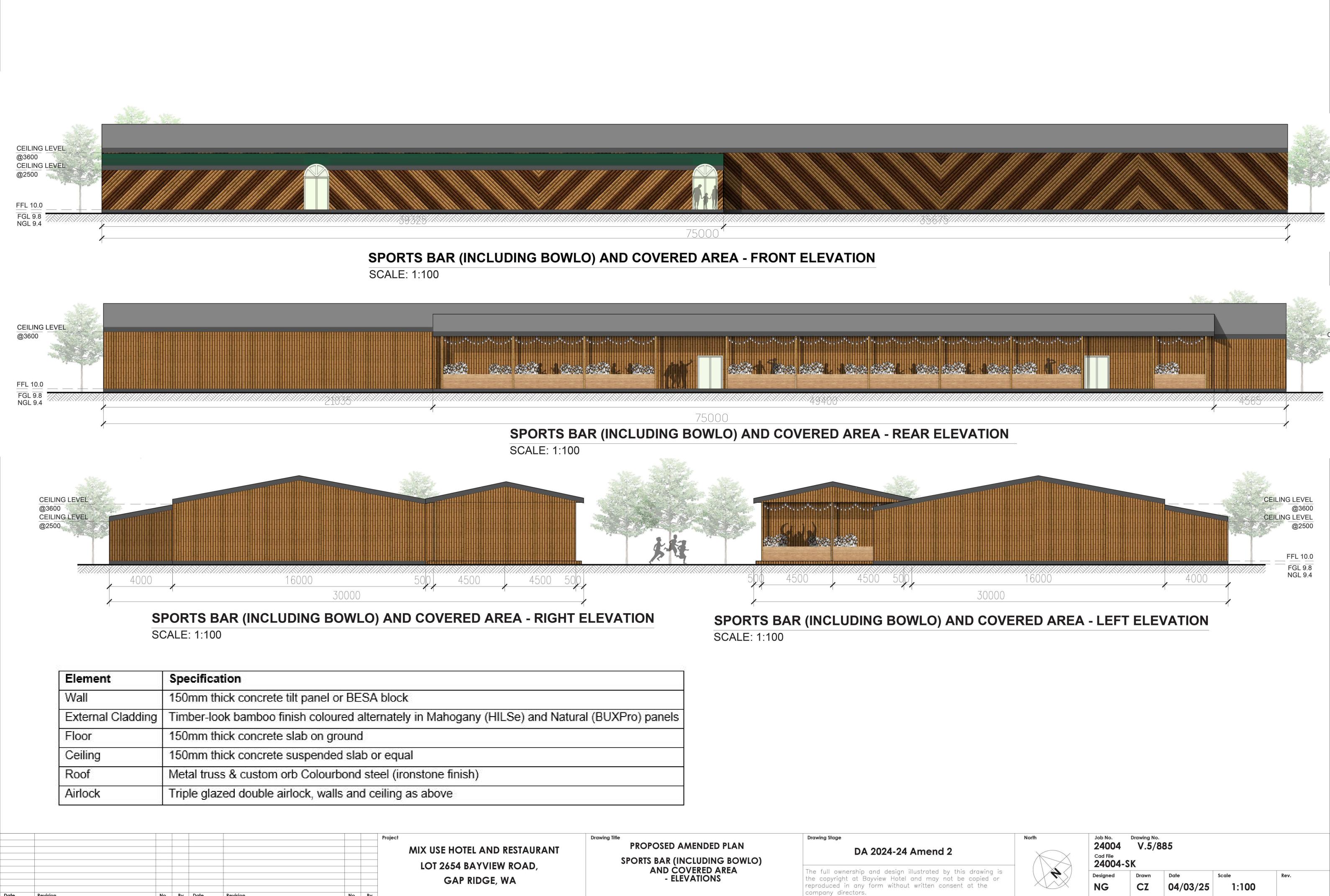
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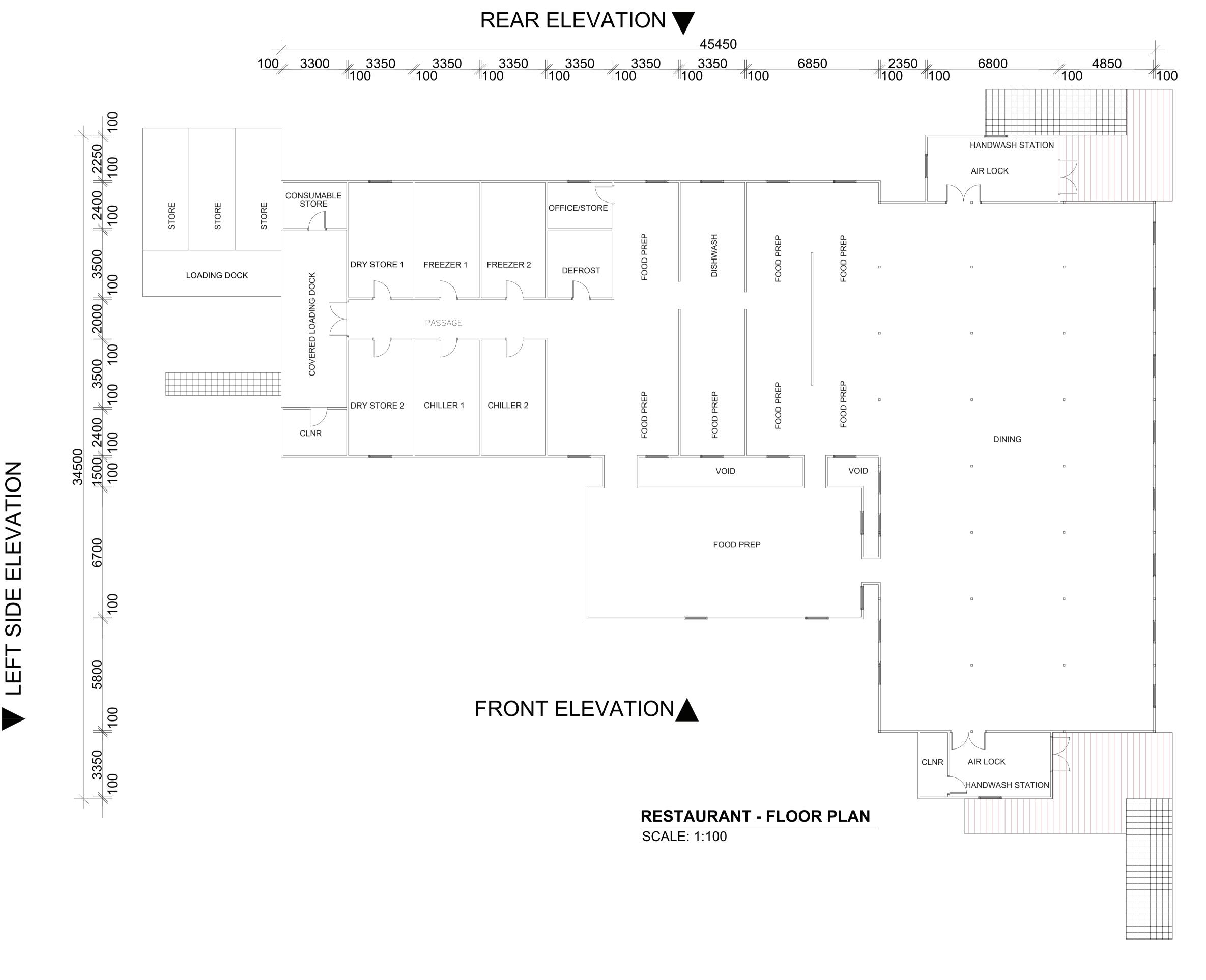
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Job No.	Drawing No.			
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Cad File 24004-S	SK .			
Designed	Drawn	Date	Scale	Rev.
NG	CZ	14/03/25	_	



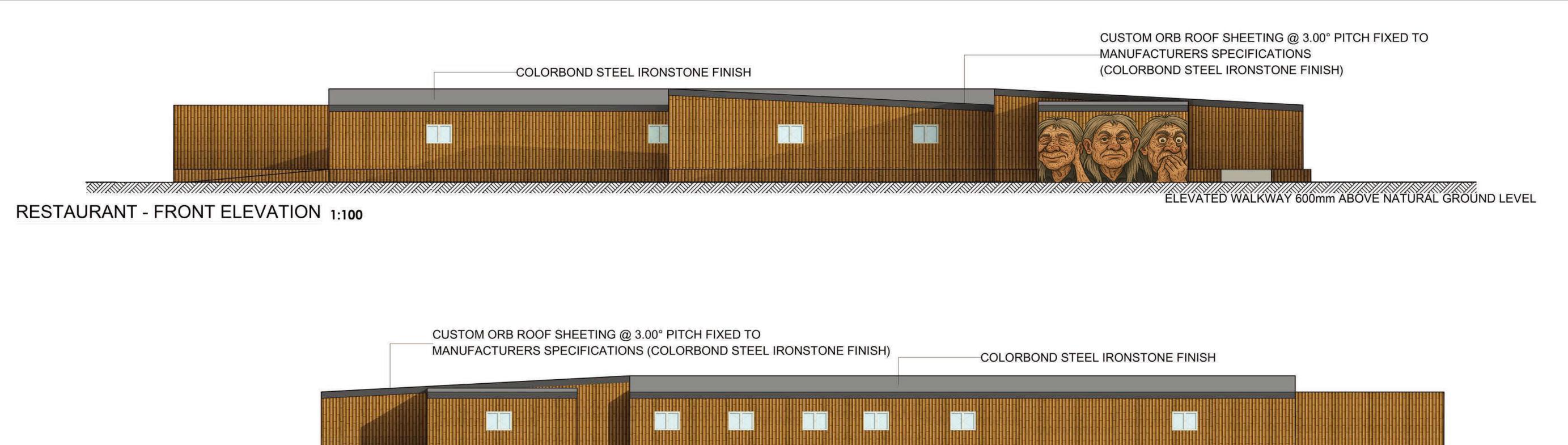


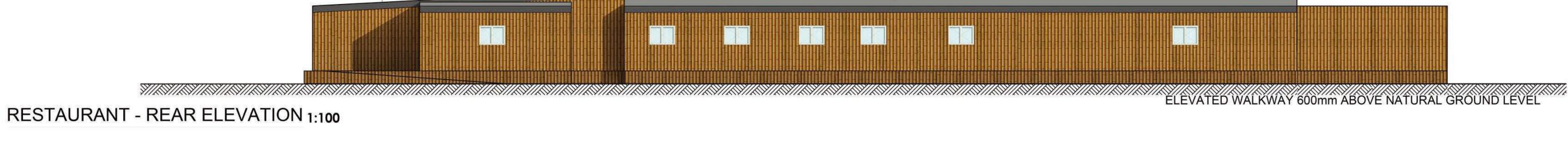


MIX USE HOTEL AND RESTAURANT
LOT 2654 BAYVIEW ROAD,
GAP RIDGE, WA

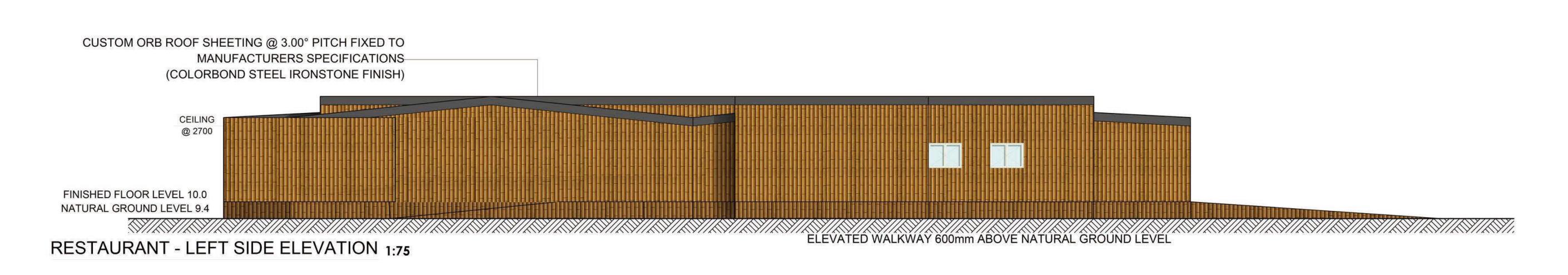
PROPOSED AMENDED PLAN
RESTAURANT - FLOOR PLAN

Revision
No. By Date Revision
No. By Date



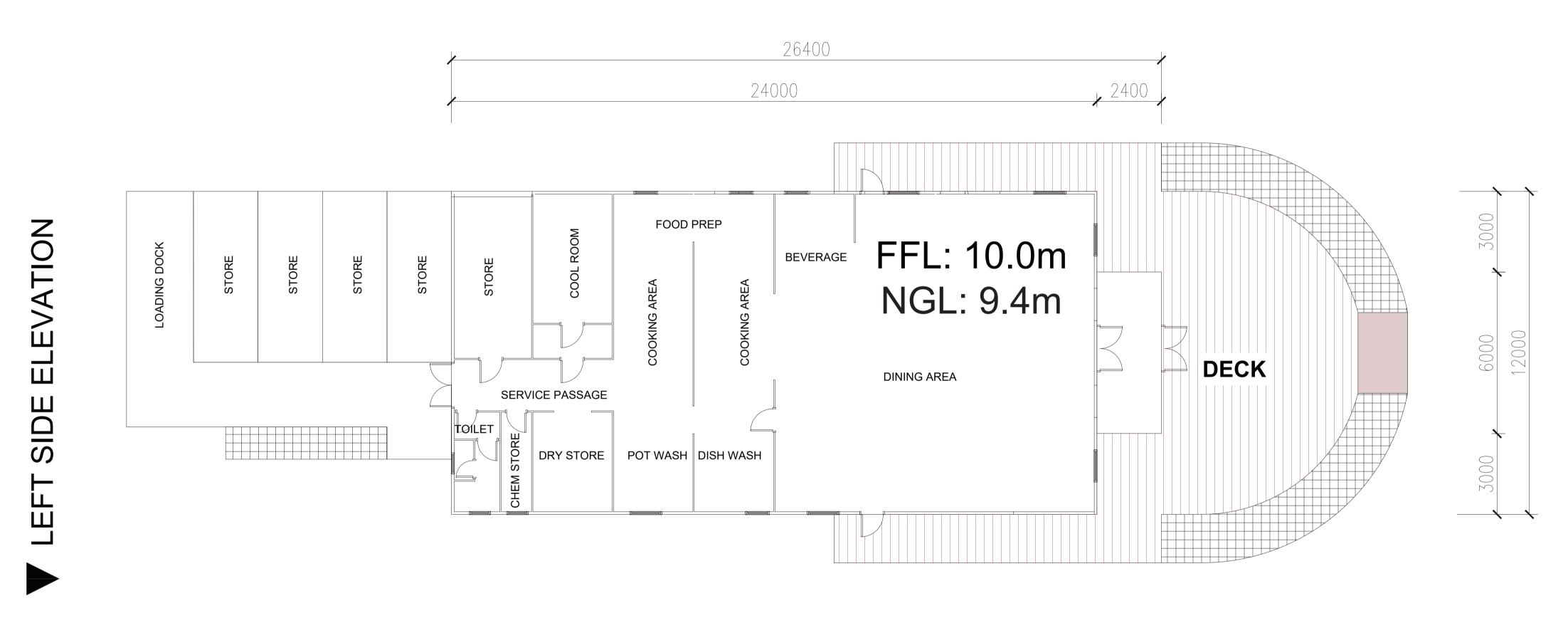






				Pro	MIX USE HOTEL AND RESTAURANT LOT 2654 BAYVIEW ROAD, GAP RIDGE, WA	PROPOSED AMENDED PLAN RESTAURANT - ELEVATIONS	V5 FINAL	North	Job No. Drawing No. 24004 V.5/887 Cad File 24004-SK			
Date Revision	No.	Bv Date	Revision	No. By			The full ownership and design illustrated by this drawing is the copyright of QSD Hire Pty Ltd and may not be copied or reproduced in any form without written consent of the company directors.	4	NG	Drawn CZ	04/03/25	1:100

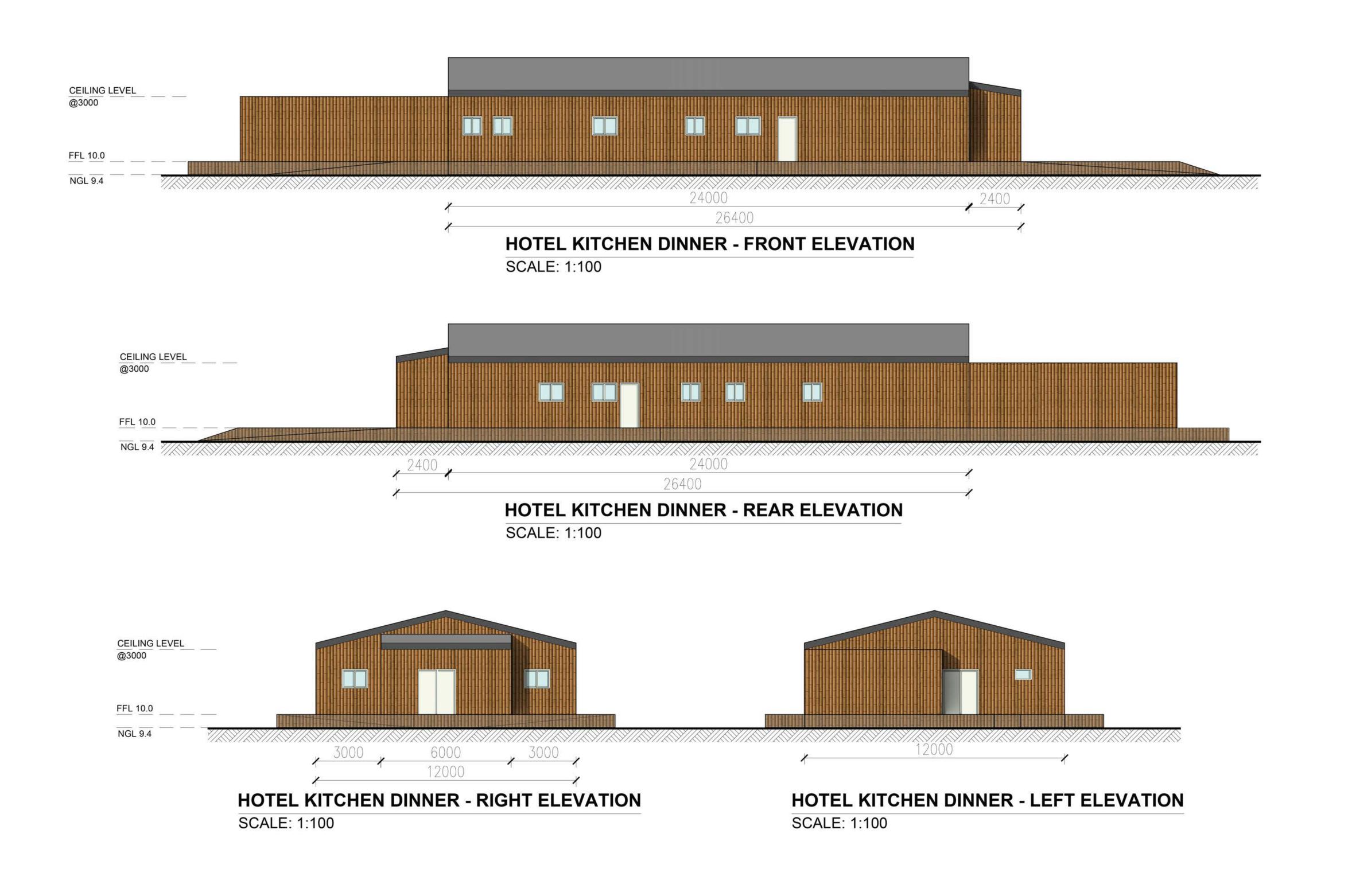
REAR ELEVATION T



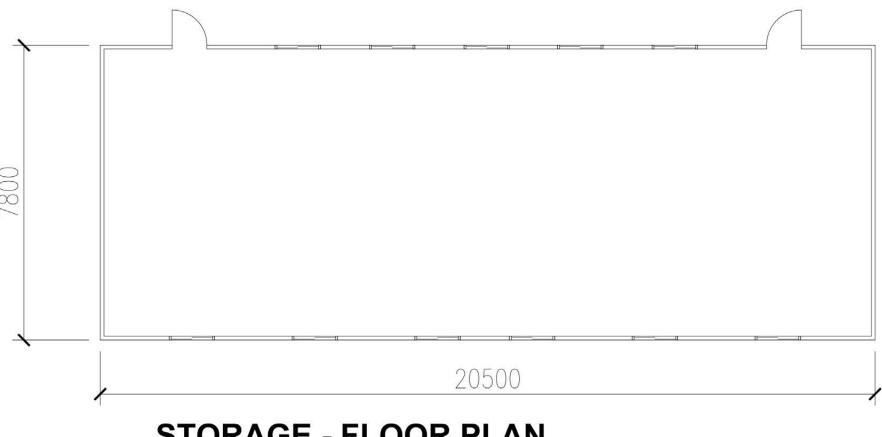
FRONT ELEVATION

HOTEL KITCHEN DINNER - FLOOR PLAN

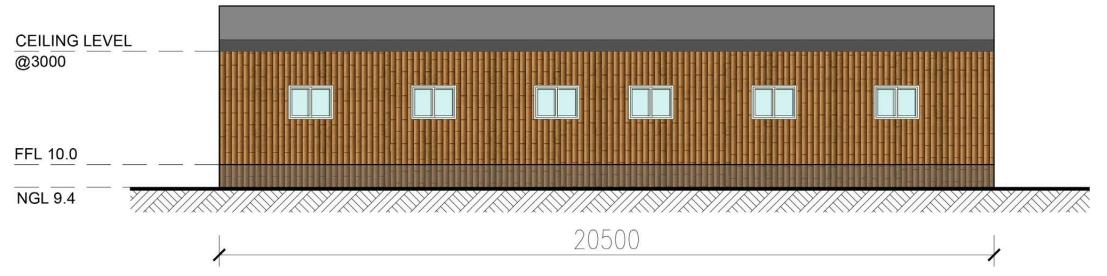
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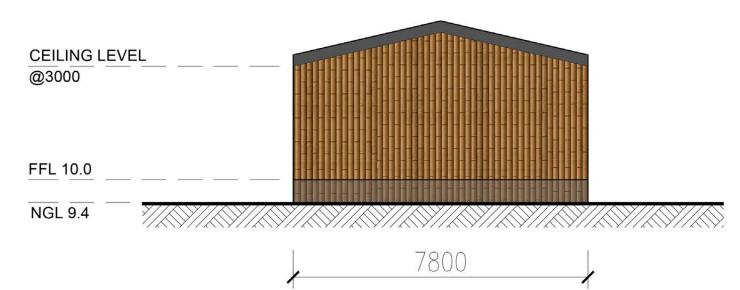
STORAGE - FLOOR PLAN SCALE: 1:100



STORAGE - FRONT ELEVATION SCALE: 1:100

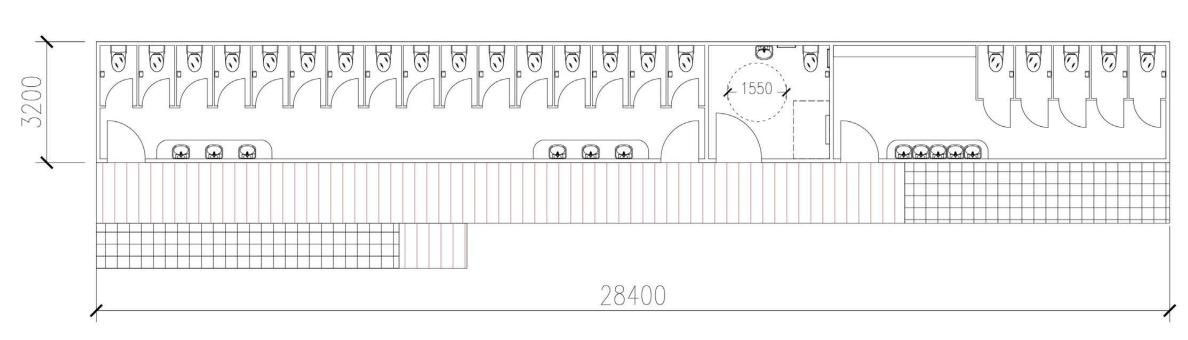


STORAGE - REAR ELEVATION SCALE: 1:100

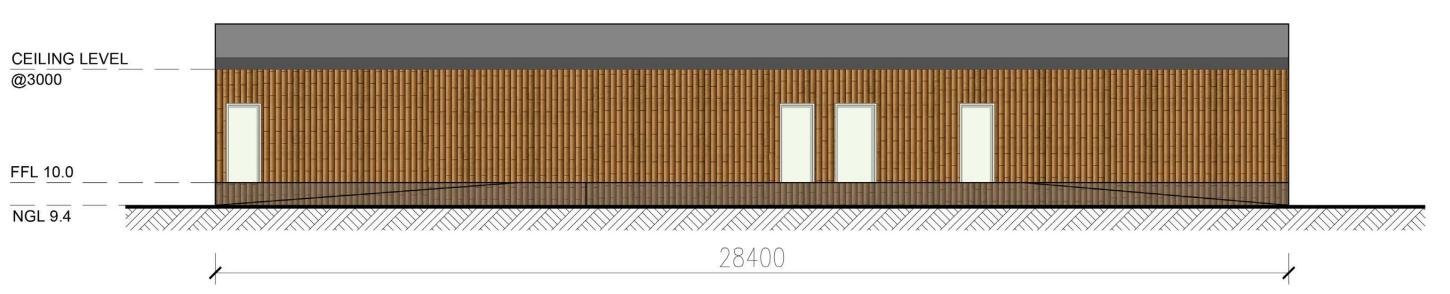


STORAGE - LEFT & RIGHT ELEVATION

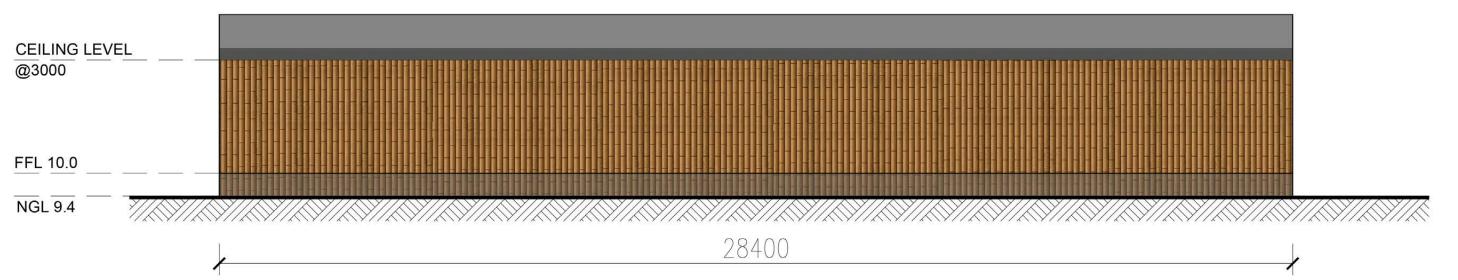
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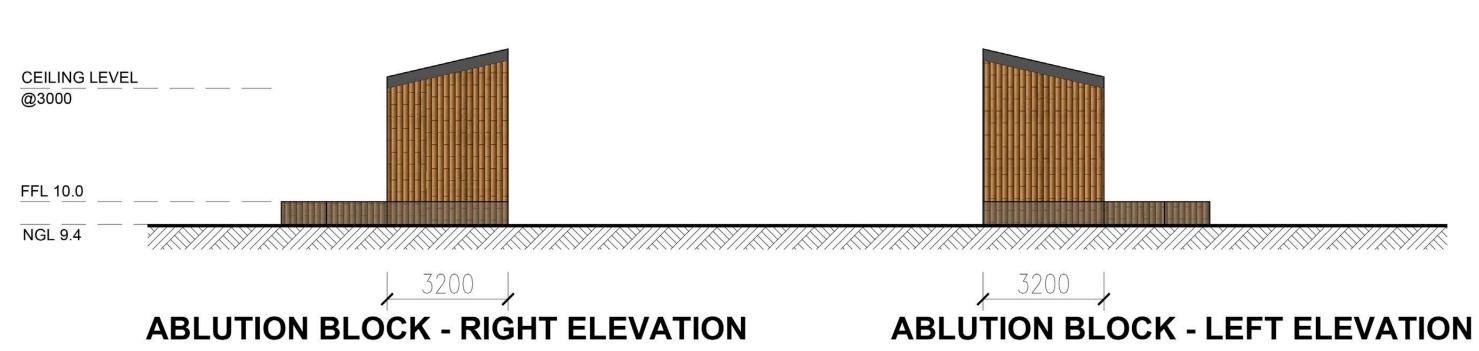
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ABLUTION BLOCK - FRONT ELEVATION SCALE: 1:100



ABLUTION BLOCK - REAR ELEVATION SCALE: 1:100



SCALE: 1:100

SCALE: 1:100

MIX USE HOTEL AND RESTAURANT LOT 2654 BAYVIEW ROAD, GAP RIDGE, WA

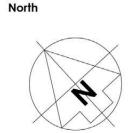
Drawing Title

PROPOSED AMENDED PLAN STORAGE & ABLUTION BLOCK - FLOOR PLAN & ELEVATIONS

V5 FINAL

Drawing Stage

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Job No. Drawing No. V.5/8810 24004-SK

NG CZ 04/03/25

1:100



Appendix D: Technical Supporting Information

Our Ref: RT/L067.25.docx Job No: 24-07-108



Level 2 Kishorn Court 58 Kishorn Road Mount Pleasant WA 6153

PO Box 1036 Canning Bridge WA 6153

Tel: (08) 9315 9955
Email: office@portereng.com.au

13 March 2025

Neal Guilmartin PO Box 399 Port Hedland 6721

Attention: Neal Guilmartin

Dear Neal.

PROPOSED BAYVIEW HOTEL AND RESTAURANT – AMENDED LAYOUT STORMWATER MANAGEMENT PLAN

Upon review of the proposed amended plan, contained in *Attachment A*, we can confirm the following:

- The treatment volume will not increase as the additional hardstand is additional roof area only,
- The outlet flow rates at each outlet along the eastern boundary will remain below 2m/s. A slight increase in velocity will be seen at Outlet 8. The peak velocity for the 1% AEP event is expected to be 1.8m/s based on the Water Com Drains IL CL calculation. Refer to the project stormwater management plan for further details on the calculation method adopted for this site.
- The overland flow path route through the site will generally remain unchanged. Additional minor swales will be required in the central facilities area to ensure stormwater can escape to the carparking area located east.

As the drainage design prepared covers the carpark area only, it is proposed no further updates are made to the design plans. The minor internal central facility swales should be managed with the contractor during construction.

If you require any additional information or support, please do not hesitate to contact the office on the details provided.

Yours faithfully,

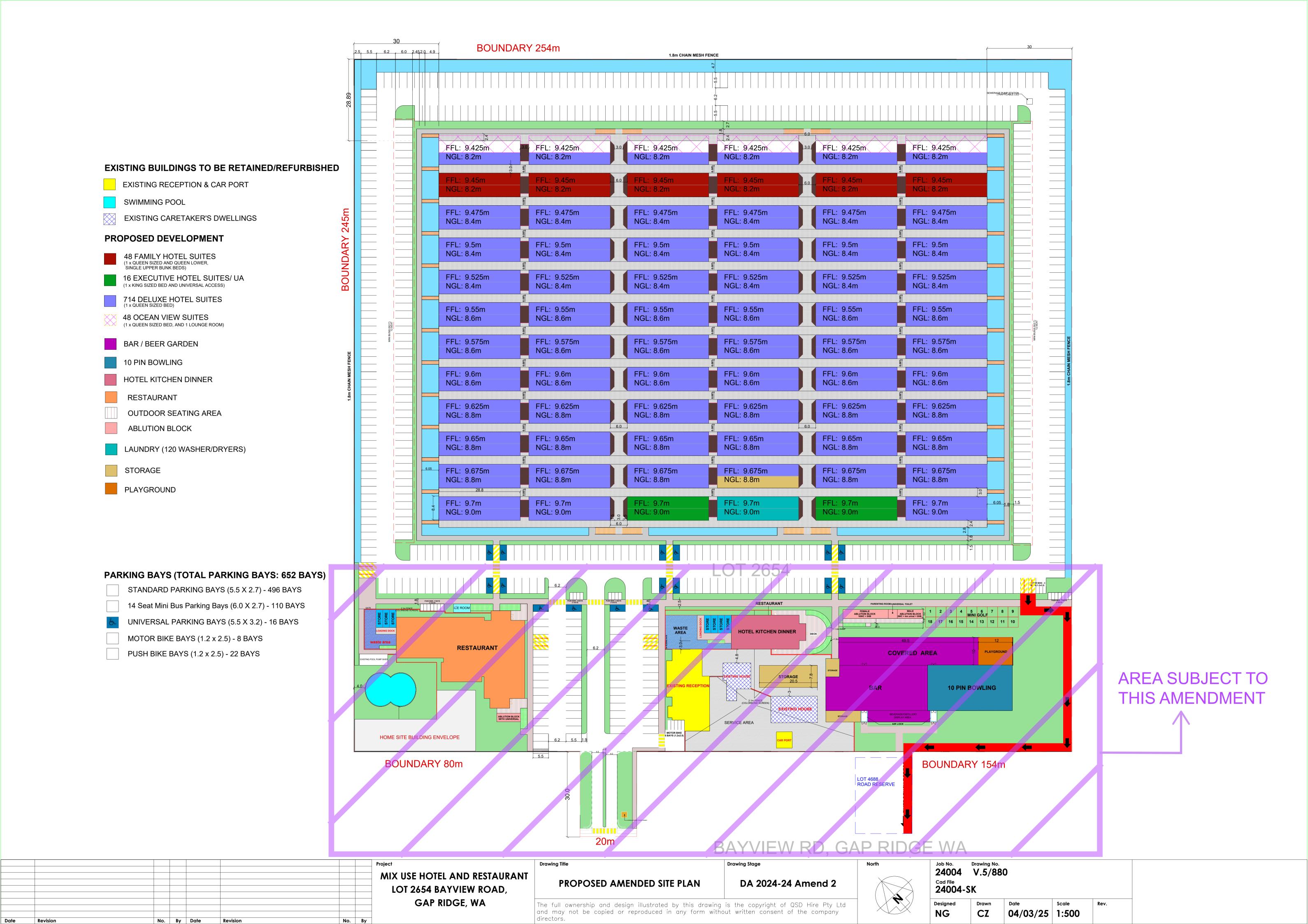
RACHEL THOMSON PROJECT ENGINEER

Enc.



ATTACHMENT A – AMENDED SITE PLAN

Our Ref: L067.25.docx page 2



ptg

Monday, 17 March 2025 Mobile Accommodation Camps Pty Ltd 1/407 Esplanade Torquay QLD 4655

Attn: Neal Guilmartin

Nealguilmartin@gmail.com

Dear Neal,

BAYVIEW HOTEL, GAP RIDGE, WA ACOUSTIC REVIEW OF PROPOSED DA AMENDMENT

We understand that a development approval is current for the proposed development application for the proposed Bayview Hotel at Lot 2654 Bayview Road, Gap Ridge.

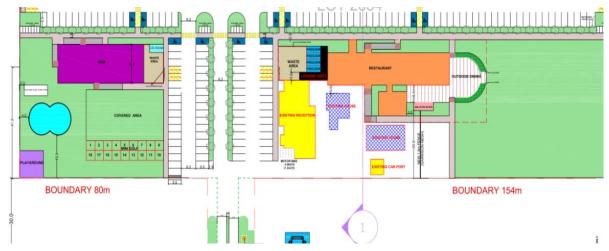
A review of a proposed amendment to the development approval, has been carried out to determine whether there will be any material change in noise impacts as a result of the proposed amendment.

This letter should be read in conjunction with the original Acoustic DA Assessment Report: "Bayview Hotel & Restaurant Development Application Noise Assessment, dated 12 July 2024, prepared by Marshall Day Acoustics.

Our understanding of the proposed changes to the development are detailed below:

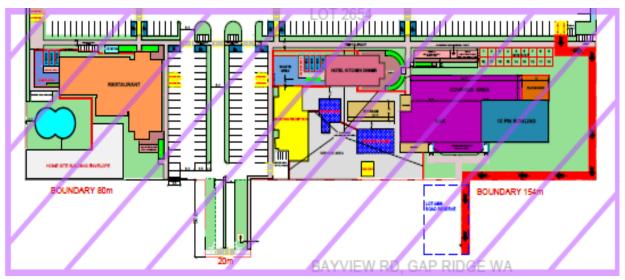
The approved layout is shown below in Figure 1.

Figure 1: Approved Site Layout & Nearby Sensitive Receivers



The proposed amended layout is shown below in Figure 2.

Figure 2: Proposed Amended Site Layout



The above indicates that the bar and beer garden are proposed to move south and the restaurant is proposed to move north. In addition a bowling alley is proposed to be included in the amended site.

Figure 3 shows the location of the proposed development (currently approved site layout) in relation to the nearest noise sensitive receivers:

Figure 3: Site Sources & Surrounds

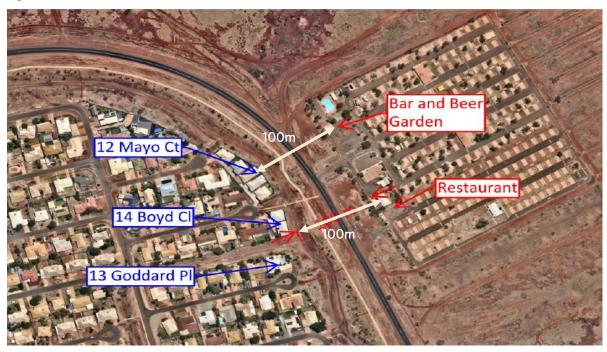


Figure 4 shows the same information as figure 3 based on the amended site layout.

Figure 4: Amended Site Sources & Surrounds



Review of the above figures indicates that the following changes apply when comparing the approved layout and the proposed amendment:

- The bar is now located slightly further away from the nearest receiver (the nearest receiver has changed (now 14B Boyd Close) but is located further away from the bar and outdoor covered area).
- The outdoor covered area is now shielded by 150 mm concrete blockwork (bar and bowling alley wall construction)
- The construction of the bar is proposed to increase from lightweight stud wall construction to 150mm blockwork.
- A bowling alley has been added to the layout. However, calculations indicate that, based on a typical internal reverberant noise level of 80 dB(A), a distance of 120 metres between the bowling alley and the nearest sensitive receiver and the proposed building construction of 150mm block walls, airlocks on all doors and a 150mm concrete ceiling with Colorbond steel roof above, the predicted noise level at the nearest receiver would be 20 dB(A) which is well below the project assigned noise levels.
- Distances between plant and forklifts, vehicles and patrons in the car park, and waste collection have not changed.

Based on the above, in our opinion, the proposed amendment will result in a material decrease in noise impacts from the proposed development and therefore a further detailed assessment is not required to demonstrate compliance with the adopted project criteria. We trust that the above information is constructive.

If you require any further information or clarification of the attached, please do not hesitate to contact the undersigned.

Best Regards,

r

Julie McDonagh BEng, MIEAust, CPEng, RPEQ, RPEV, NER Associate Director, Acoustics Julie.mcdonagh@ptgconsulting.com

Bushfire Attack Level Report





AS 3959 BAL Assessment Report

CTL+ Mouse Click for: Help to Understand

This report has been prepared by an Accredited BPAD Practitioner using the Simplified Procedure (Method 1) as detailed in Section 2 of AS 3959 – 2018. FPA Australia makes no warranties as to the accuracy of the information provided in the report. All enquiries related to the information and conclusions presented in this report must be made to the BPAD Accredited Practitioner, WA Fire & Safety, contact details below.

Property Details and Description of Works										
Address Details	Lot 2654		4	No.		Street name	Bayview	Road		
	Suburb Gap Ridge				è		State	Western Australia		
Local government area	City o	City of Karratha								
Main BCA class of the building	Mixed Class		Use(s	s) of the ing	Hotel and Restaurant					
Description of the building or works	New Builds.							Multiple Structures		

Report Details					
Report Number	24320	Version	4.0	Assessment Date 19 March 2024	Report/Certificate Date 17 March 2025

BPAD Accredited Practitioner Details

Name

Dwayne Griggs BPAD40466 (Level 2)

Company Details

Email: admin@wafiresafety.com.au

Mobile: 0415684681

Links to: Facebook & Google



Authorised Practitioner Stamp

BPAD 40466

I hereby declare that I am a BPAD accredited bushfire practitioner



Accreditation No.

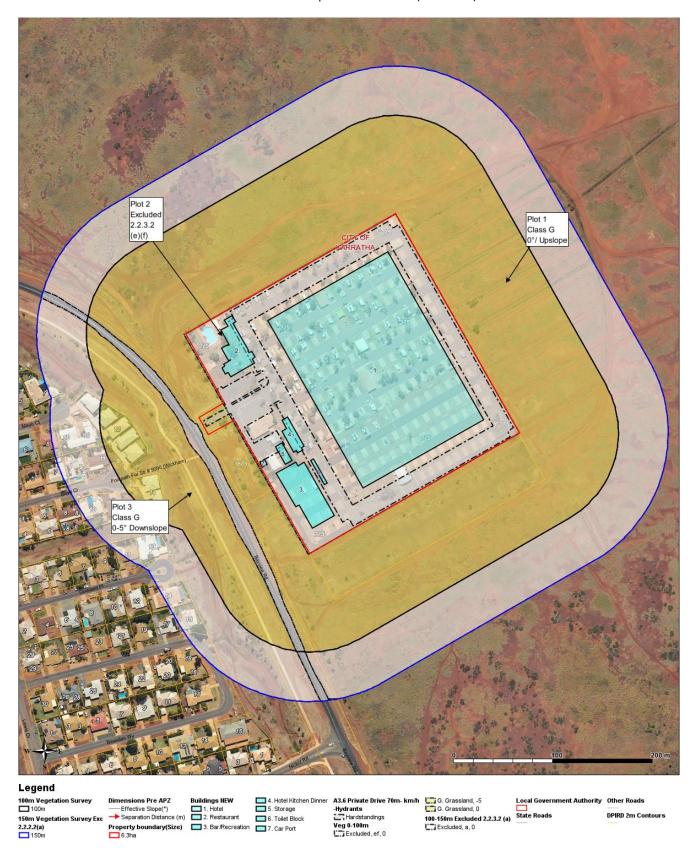
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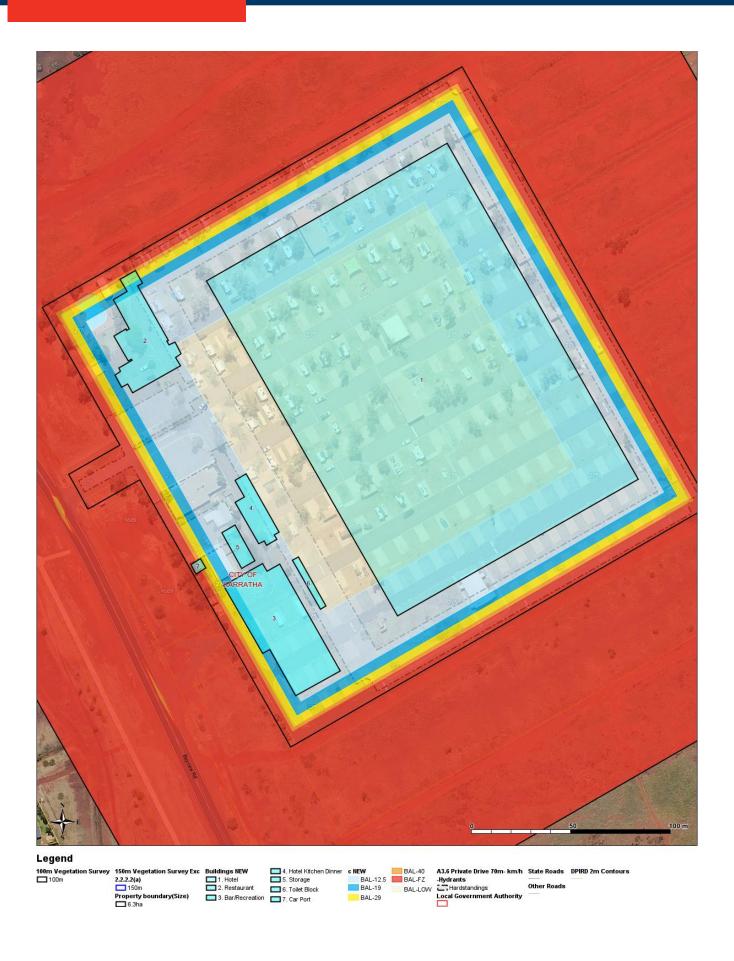
R.

Reliance on the assessment and determination of the Bushfire Attack Level contained in this report should not extend beyond a period of 12 months from the date of issue of the report. If this report was issued more than 12 months ago, it is recommended that the validity of the determination be confirmed with the Accredited Practitioner and where required an updated report issued.

Site Assessment Map

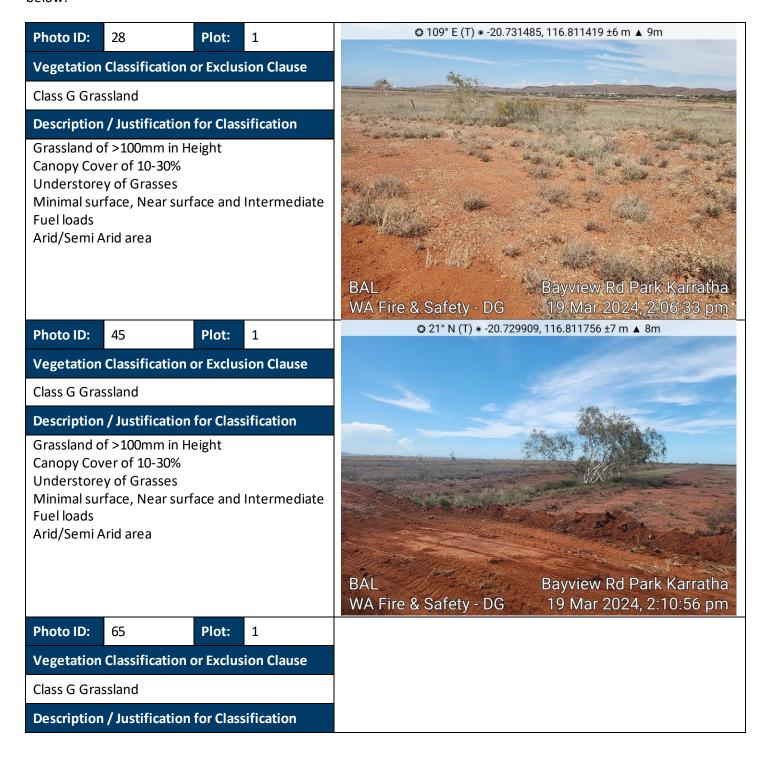
The assessment of this site / development was undertaken by a BPAD Accredited Practitioner for the purpose of determining the Bushfire Attack Level in accordance with AS 3959 - 2018 Simplified Procedure (Method 1).





Vegetation Classification

All vegetation within 100m of the site / proposed development was classified in accordance with Clause 2.2.3 of AS 3959-2018. Each distinguishable vegetation plot with the potential to determine the Bushfire Attack Level is identified below.



Grassland of >100mm in Height
Canopy Cover of 10-30%
Understorey of Grasses
Minimal surface, Near surface and Intermediate
Fuel loads
Arid/Semi Arid area

BAL Bayview Rd Park Karratha
WA Fire & Safety - DG 19 Mar 2024, 2:15:28 pm

Photo ID:

74

Plot:

1

Vegetation Classification or Exclusion Clause

Class G Grassland

Description / Justification for Classification

Grassland of >100mm in Height
Canopy Cover of 10-30%
Understorey of Grasses
Minimal surface, Near surface and Intermediate
Fuel loads
Arid/Semi Arid area

Photo ID: 42 Plot:

Vegetation Classification or Exclusion Clause

Excludable - 2.2.3.2 (e) (f) Low Threat Vegetation/Non Vegetated

Description / Justification for Classification

Maintained Areas
Canopy Cover of Less than 10%
Residential Areas
Insufficient Fuels to increase the risk from
bushfire
Non-Vegetated Areas
Irrigated gardens with low threat ground covers





Bayview Rd Park Karratha

19 Mar 2024, 2:23:18 pm

© 8° N (T) ● -20.73047, 116.809766 ±6 m ▲ 8m

Photo ID:

Plot:

BAL

WA Fire & Safety - DG

Vegetation Classification or Exclusion Clause

Excludable - 2.2.3.2 (e) (f) Low Threat Vegetation/Non Vegetated

Description / Justification for Classification

Maintained Areas

Canopy Cover of Less than 10%

Residential Areas

Insufficient Fuels to increase the risk from

bushfire

Non-Vegetated Areas

Irrigated gardens with low threat ground covers

Photo ID: 90 Plot:

Vegetation Classification or Exclusion Clause

Excludable - 2.2.3.2 (e) (f) Low Threat Vegetation/Non Vegetated

Description / Justification for Classification

Maintained Areas

Canopy Cover of Less than 10%

Residential Areas

Insufficient Fuels to increase the risk from

bushfire

Non-Vegetated Areas

Irrigated gardens with low threat ground covers



Photo ID:

98

Plot:

Vegetation Classification or Exclusion Clause

Excludable - 2.2.3.2 (e) (f) Low Threat Vegetation/Non Vegetated

Description / Justification for Classification

Maintained Areas

Canopy Cover of Less than 10%

Residential Areas

Insufficient Fuels to increase the risk from

bushfire

Non-Vegetated Areas

Irrigated gardens with low threat ground covers



Photo ID:

Plot:

3

Vegetation Classification or Exclusion Clause

Class G Grassland

Description / Justification for Classification

Grassland of >100mm in Height
Canopy Cover of 10-30%
Understorey of Grasses
Minimal surface, Near surface and Intermediate
Fuel loads
Arid/Semi Arid area



Photo ID:

77

Plot:

3

Vegetation Classification or Exclusion Clause

Class G Grassland

Description / Justification for Classification

Grassland of >100mm in Height
Canopy Cover of 10-30%
Understorey of Grasses
Minimal surface, Near surface and Intermediate
Fuel loads
Arid/Semi Arid area



Relevant Fire Danger Index

The fire danger index for this site has been determined in accordance with Table 2.1 or otherwise determined in accordance with a jurisdictional variation applicable to the site.

Fire Danger Index (WA is FDI of 80)									
FDI 40 🗌	FDI 50 🗌	FDI 80 🔀	FDI 100 🗌						
Table 2.4.5	Table 2.4.4	Table 2.4.3	Table 2.4.2						

Determined Bushfire Impacts (on the day of the site assessment)

Table 1a shows the potential bushfire impact to the site / proposed development from each of the identified vegetation plots are identified below to the walls or supporting posts of the structure on the day of the assessment.

Due to the significant number of structures, ratings are individually shown in the BAL contour above.

Plot	Vegetation Classification	Effective Slope	Highest BAL	Lowest BAL
1	Class G Grassland	0/Upslope	BAL – FZ	BAL – 12.5
2	Excludable – Clause 2.2.3.2 (e) & (f)	-	BAL – LOW	BAL – LOW
3	Class G Grassland	0-5 Downslope	BAL – FZ	BAL – 12.5

Table 1: BAL Analysis

Determined Bushfire Attack Level (BAL)

The Determined Bushfire Attack Level (highest BAL) for the site / proposed development has been determined in accordance with clause 2.2.6 of AS 3959-2018 using the above analysis, that includes the Bushfire Contour Map.

BAL-12.5 (BAL Certificate 1)

1. Hotel, 4. Hotel Kitchen Dinner, 5. Storage, 6. Toilet Block

BAL-29 (BAL Certificate 2)

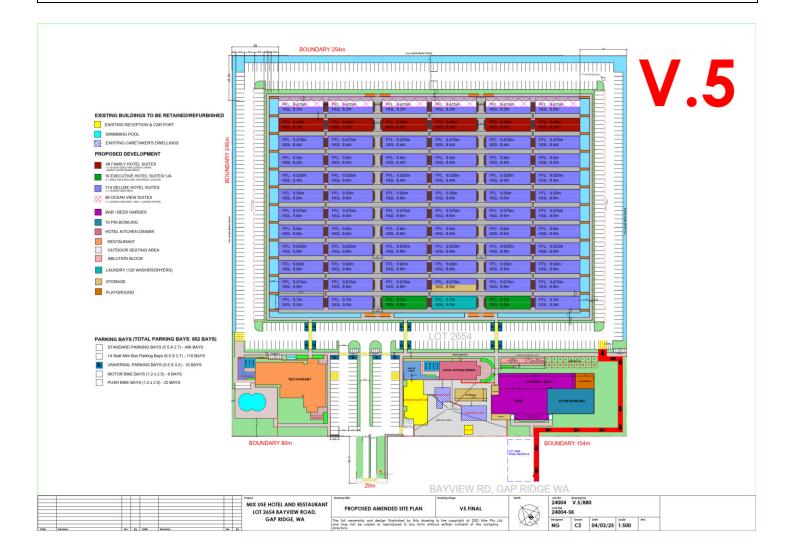
2. Restaurant, 3. Bar/Recreation

BAL-FZ (BAL Certificate 3)

7. Carport

Appendix 1: Plans and Drawings: Plans and drawings relied on to determine the bushfire attack level

Hotel and Restaurant



Appendix 2: Application of Shielding Provisions

AS3959-2018 c3.5 Shielding Provision applies as described and/or illustrated below:

- 1- 1. Hotel, 4. Hotel Kitchen Dinner, 5. Storage, 6. Toilet Block are BAL-12.5 in entirety.
- 2- 2. Restaurant, 3. Bar/Recreation is BAL-19 in entirety.
- 3- 7. Car Port is BAL-FZ in entirety.

Appendix 3: Additional Information and Advisory Notes

Excluded Vegetation (as3959 Clause 2.2.3.2):

Area contains plots that are maintained being excludable (e) and (f) low risk managed areas with APZ to 20m or lot sizes; these low-risk areas have been assessed and plotted on the map in white (plot 2).

APZ (Asset Protection Zone) or BPZ

APZ will be lot sizes upon completion, with all areas inside the lot being turned to carparking or managed gardens.

Topography

Area is mainly flat ground, with a downslope of no more than -5° to the west.

Recommendations for Landowner (FOLLOW THIS PROCEDURE!!)

- 1. Continued maintenance of the lot to the standard directed by the LGA firebreak and fuel notice (appendix 4) and,
- 2. Submission of the provided BAL Report and Certificate to the Local Government Authority (LGA) as soon as possible.
- 3. Provide any future documentation requested by the LGA including Bushfire Management Plans(BMP) or Statements (BMS).

It is the responsibility of the landowner/proponent to maintain their lot in accordance with the local government firebreak notice (LGA firebreak and fuel notice), issued under s33 of the Bushfires Act 1955.

Construction Requirements Advisory Statement:

All information given regarding construction requirements for the appropriate BAL Level from AS3959, within and outside this report is advisory only. A registered builder will be able to provide specific advice.

Statement from WAFS:

I Dwayne Griggs BPAD40466 of WA Fire & Safety, Maida Vale, have taken the appropriate steps to ensure that all the information provided in this Bushfire Attack Level Report is accurate and the correct determination of the site is given on the date of this assessment to current procedures defined by the FPAA.

Any further vegetation planted after the date of this BAL Assessment or a failure to maintain the area within this BAL Report to the same standards can dramatically change the BAL rating. This will put the structure and close structures at a higher risk in the event of extreme bushfire behaviour in the area.

It is highly recommended that the customer follows the recommendations outlined by the bushfire consultant for the subject lot, if the correct process is not adhered to this will impact costs, time, and the ability to complete the job in an effective manner.

This report does not guarantee that a structure will not be damaged or destroyed from a bushfire. This assessment is made from the information provided on site and available to me the Bushfire Consultant on the day of the assessment. The Bushfire Consultant will not be liable for loss or other consequences following a fire whether due to negligence arising from the services conducted by the consultant, local government authority, the agent requesting and or the owner/occupier.

Appendix 4: Standards for Asset Protection Zones (from SPP3.7)

An APZ is an area surrounding a building that is managed to reduce the bushfire hazard to an acceptable level. The width of the required APZ varies with slope and vegetation. The APZ should at a minimum be of sufficient size to ensure the potential radiant heat impact of a fire does not exceed 29kW/m² (BAL-29). It should be lot specific. Hazard separation in the form of using subdivision design elements (refer to E2) or excluded and low threat vegetation adjacent to the lot may be used to reduce the dimensions of the APZ within the lot.

The APZ includes a defendable space which is an area adjoining the asset within which firefighting operations can be undertaken to defend the structure. Vegetation within the defendable space should be kept at an absolute minimum and the area should be free from combustible items and obstructions. The width of the defendable space is dependent on the space which is available on the property, but as a minimum should be 3 metres.

The APZ should be contained solely within the boundaries of the lot on which the building is situated, except in instances where the neighbouring lot or lots will be managed in a low-fuel state on an ongoing basis, in perpetuity. The APZ may make use of public roads, waterways, footpaths, buildings, rocky outcrops, golf courses, maintained parkland as well as cultivated gardens in an urban context, but does not include grassland or vegetation on a neighbouring rural lot, farmland, wetland reserves and unmanaged public reserves.

APZs can adversely affect the retention of native vegetation. Where the loss of vegetation is not acceptable or causes conflict with landscape or environmental objectives, such as waterway foreshore areas and wetland buffers, reducing lot yield may be necessary in order to minimise the removal and modification of remnant vegetation.

It is the responsibility of the landowner/proponent to maintain their APZ in accordance with Schedule 1 'Standards for Asset Protection Zones'. It is further recommended that maintenance of APZs is addressed through the local government firebreak notice, issued under s33 of the Bushfires Act 1954, and preferably included in a Bushfire Management Plan specifically as a how-to guide for the landowner.

SCHEDULE 1: STANDARDS FOR ASSET PROTECTION ZONES

REQUIREMENT Fences within the APZ Should be constructed from non-combustible materials (for example, iron, brick, limestone, metal post and wire, or bushfire-resisting timber referenced in Appendix F of AS 3959). Fine fuel load Should be managed and removed on a regular basis to maintain a low threat state. (Combustible, dead vegetation Should be maintained at <2 tonnes per hectare (on average). matter <6 millimetres in · Mulches should be non-combustible such as stone, gravel or crushed mineral earth thickness) or wood mulch >6 millimetres in thickness. Trees* (>6 metres in height) Trunks at maturity should be a minimum distance of six metres from all elevations of the building. Branches at maturity should not touch or overhang a building or powerline. Lower branches and loose bark should be removed to a height of two metres above the ground and/or surface vegetation. Canopy cover within the APZ should be <15 per cent of the total APZ area. · Tree canopies at maturity should be at least five metres apart to avoid forming a continuous canopy. Stands of existing mature trees with interlocking canopies may be treated as an individual canopy provided that the total canopy cover within the APZ will not exceed 15 per cent and are not connected to the tree canopy outside the APZ. Figure 19: Tree canopy cover - ranging from 15 to 70 per cent at maturity 30% Shrub* and scrub* (0.5 · Should not be located under trees or within three metres of buildings. metres to six metres in height). Should not be planted in clumps >5 square metres in area. Shrub and scrub >6 metres Clumps should be separated from each other and any exposed window or door by in height are to be treated as at least 10 metres. Can be planted under trees but must be maintained to remove dead plant material, Ground covers* (<0.5 metres in height. Ground covers >0.5 as prescribed in 'Fine fuel load' above. metres in height are to be · Can be located within two metres of a structure, but three metres from windows or treated as shrubs) doors if >100 millimetres in height. Grass should be maintained at a height of 100 millimetres or less, at all times. Grass Wherever possible, perennial grasses should be used and well-hydrated with regular application of wetting agents and efficient irrigation. Defendable space Within three metres of each wall or supporting post of a habitable building, the area is kept free from vegetation, but can include ground covers, grass and noncombustible mulches as prescribed above. LP Gas Cylinders · Should be located on the side of a building furthest from the likely direction of a bushfire or on the side of a building where surrounding classified vegetation is upslope, at least one metre from vulnerable parts of a building. The pressure relief valve should point away from the house. No flammable material within six metres from the front of the valve.

Must sit on a firm, level and non-combustible base and be secured to a solid

structure.

Fine fuel load should be maintained to less than two tonnes per hectare, however this is often a subjective assessment. Reducing fuel load levels does not necessarily require the removal of existing vegetation. A combination of methods can be utilised to reduce fuel load such as raking, weed removal, pruning, mulching and/or the removal of plant material.

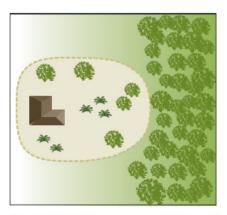
A simple method to estimate fuel load is to roughly equate one tonne of fuel load per hectare as 100 grams per square metre. For example, two tonnes per hectare of leaf litter is roughly 200 grams of leaf litter per square metre and eight tonnes per hectare is roughly 800 grams. Eucalyptus leaf litter is approximately 100 grams per handful, so two handfuls of litter per square metre will roughly equate to two tonnes per hectare. Different types of fine fuel, like mulch or pine needles may be more or less than a handful, however the 100 grams per square metre rule of thumb can still be used.

The landowner or proponent is responsible for maintaining an APZ in accordance with Schedule 1 - Standards for Asset Protection Zones. Ongoing maintenance of an APZ is usually enforced through the local government firebreak notice issued under section 33 of the *Bushfires Act 1954*, and/or through a condition of a development approval, which requires the implementation of measures identified within a BMP.

A copy of the firebreak notice and Schedule 1 should be included in a BMP specifically as a how-to guide for the landowner, and to demonstrate to decision-makers that the measures outlined in the BMP to achieve the appropriate BAL rating through provision and ongoing management of an APZ, can be implemented.

Regardless of whether an Asset Protection Zone exists in accordance with the acceptable solutions and is appropriately maintained, it should be noted that fire fighters are not obliged to protect an asset if they think the separation distance between the dwelling and vegetation is unsafe.

Hazard on one side



Hazard on three sides

Figure 18: Design of Asset

Protection Zone

Legend

APZ

trees

🗼 shrubs

E2 Landscaping and design of an asset protection zone

Landscaping, design, and maintenance of an APZ in a bushfire prone area can significantly improve the bushfire resilience of a building. An APZ should not be seen as an area entirely cleared of vegetation, but as a strategically designed space that gives holistic consideration to how existing or proposed vegetation or non-combustible features interact with, or affect the building's bushfire resilience.

A well designed APZ provides a greater level of vegetation management within the first few metres of a building with, for example, less vegetation or inclusion of non-combustible materials. The vegetation within the remainder of an APZ can increase further away from the building with carefully considered plant selection and landscaping techniques.

Strategic landscaping measures can be applied, such as replacing weeds with low flammability vegetation (refer to E2 Plant Flammability) to create horizontal and vertical separations between the retained vegetation. The accumulation of fine fuel load from different plants is an important consideration for ongoing maintenance in accordance with Schedule 1. For example, when planting ground covers under deciduous trees within an APZ, the total fine fuel load prescribed in Schedule 1 will include any dead plant material from ground covers and leaf litter from the trees.

Plant density and final structure and form of mature vegetation should be considered in the initial landscaping stages. For example, clumps of sapling shrubs planted at a density without consideration of future growth, may increase the bushfire risk as a clump will quickly grow to exceed 5m^2 . It should be noted that in some cases, a single shrub in a mature state may be so dense as to fill a 5m^2 clump alone.

The location of plants within an APZ is a key design technique. Separation of garden beds with areas of low fuel or non-combustible material, will break up fuel continuity and reduce the likelihood of a bushfire running through an APZ and subjecting a dwelling to radiant heat or direct flame contact. It is important to note, where mature trees are separated from a building by six metres, but the canopy has grown to extend or overhang a building, maintenance and pruning to remove the overhanging branches should be undertaken without the entirety of the tree being removed.

Mulches used within the APZ should be non-combustible. The use of stone, gravel, rock and crushed mineral earth is encouraged. Wood mulch >6mm in thickness may be used, however it is recommended that it is used in garden beds or areas where the moisture level is higher by regular irrigation. These materials could be sourced from non-toxic construction and demolition waste giving the added benefit of reducing the environmental impact of any 'hard landscaping' actions.

Combustible objects, plants, garden supplies such as mulches, fences made from combustible material, should be avoided within 10 metres of a building. Vines or climbing plants on pergolas, posts or beams, should be located away from vulnerable parts of the building, such as windows and doors. Non-flammable features can be used to provide hazard separation from classified vegetation, such as tennis courts, pools, lawns and driveways or paths that use inorganic mulches (gravel or crushed rock). Consider locating firewood stacks away from trees and habitable buildings.

Incorporation of landscaping features, such as masonry feature walls can provide habitable buildings with barriers to wind, radiant heat and embers. These features can include noise walls or wind breaks. Use of Appendix F of AS 3959 for bushfire resistant timber selection within areas of $29kW/m^2$ (BAL-29) or below, or the use of non-combustible fencing materials such as iron, brick, limestone, metal post and wire is encouraged.

In addition to regular maintenance of an APZ, further bushfire protection can be provided at any time by:

- · ensuring gutters are free from vegetation;
- · installing gutter guards or plugs;
- regular cleaning of underfloor spaces, or enclosing them to prevent gaps;
- trimming and removing dead plants or leaf litter;
- pruning climbing vegetation (such as vines) on a trellis, to ensure it does not connect to a building, particularly near windows and doors;
- removing vegetation in close proximity to a water tank to ensure it is not touching the sides of a tank; and/or
- following the requirements of the relevant local government section 33 fire break notice, which may include additional provisions such as locating wood piles more than 10 metres from a building.

Preparation of a property prior to the bushfire season and/or in anticipation of a bushfire is beneficial even if your plan is to evacuate. As embers can travel up to several kilometres from a bushfire and fall into small spaces and crevices or land against the external walls of a building, best practice recommends that objects within the APZ are moved away from the building prior to any bushfire event. Objects may include, but are not limited to:

- · door mats;
- · outdoor furniture;
- · potted plants;
- shade sails or umbrellas;
- plastic garbage bins;
- · firewood stacks;
- · flammable sculptures; and/or
- playground equipment and children's toys.

E2 Plant flammability

There are certain plant characteristics that are known to influence flammability, such as moisture or oil content and the presence and type of bark. Plants with lower flammability properties may still burn during a bushfire event, but may be more resistant to burning and some may regenerate faster post-bushfire.

There are many terms for plant flammability that should not be confused, including:

- Fire resistant plant species that survive being burnt and will regrow after a bushfire and therefore may be highly flammable and inappropriate for a garden in areas of high bushfire risk.
- Fire retardant plants that may not burn readily or may slow the passage of a bushfire.
- Fire wise plants that have been identified and selected based on their flammability properties and linked to maintenance advice and planting location within a garden.

Although not a requirement of these Guidelines, local governments may develop their own list of fire wise or fireretardant plant species that suit the environmental characteristics of an area. When developing a recommended plant species list, local governments should consult with ecologists, land care officers or environmental authorities to ensure the plants do not present a risk to endangered ecological communities, threatened, or endangered species or their habitat.

When selecting plants, private landholders and developers should aim for plants within the APZ that have the following characteristics:

- · grow in a predicted structure, shape and height;
- · are open and loose branching with leaves that are thinly spread;
- · have a coarse texture and low surface-area-to-volume ratio;
- will not drop large amounts of leaves or limbs, that require regular maintenance;
- · have wide, flat, and thick or succulent leaves;
- · trees that have bark attached tightly to their trunk or have smooth bark;
- · have low amounts of oils, waxes, and resins (which will often have a strong scent when crushed);
- · do not produce or hold large amounts of fine dead material in their crowns; and/or
- · will not become a weed in the area.

Appendix 5: Local Government Authority Fire Notice



IMPORTANT FIRE MITIGATION NOTICE

ALL OWNERS AND/OR OCCUPIERS OF LAND SITUATED IN THE CITY OF KARRATHA

This is a requirement under the *Bush Fires Act 1954* Section 33. Failure to comply with this Notice may incur penalties of up to \$5,000 and the works required by this Notice will be carried out at the expense of the owner/occupier.

Pursuant to the powers contained in Section 33 of the Bush Fires Act 1954, you are hereby required on or before the 1st day of November, (or within fourteen days of your becoming owner or occupier of land should this be after the 1st day of November), or within fourteen days of you receiving this notice, to clear and maintain mineral earth breaks and reduce the fuel load from the land owned or occupied by you as specified hereunder and to have the specified land and firebreaks clear of all flammable material all year round.

LAND IN TOWNSITES- INCLUDING MINING AND OR CONSTRUCTION ACCOMMODATION FACILITIES

- 1.1 Where the area of land is 2000 square metres (approximately 1/2 an acre) or less, all flammable material must be reduced over the whole of the land. Grasses shall be slashed to a height 75mm.
- 1.2 Where the area of land exceeds 2000 square metres, mineral earth breaks of at least five
- (5) metres in width must be cleared of all flammable material immediately inside and along the boundaries of the land. Where there are buildings on the land additional mineral earth breaks five (5) metres in width must be cleared immediately surrounding each building.
- 1.3 Ensure a minimum vertical clearance of 4 metres is maintained along the firebreaks to enable vehicles to drive along the firebreaks without access being obstructed.

LAND OUTSIDE TOWNSITES INCLUDING MINING AND OR CONSTRUCTION ACCOMMODATION FACILITIES

2.1 For all buildings on land outside of the townsite, two mineral earth breaks with a width not less than five (5) metres and cleared of all flammable material must surround the buildings. The inner mineral earth break must be no less than twenty (20) metres from the perimeter of the building or group of buildings and the outer mineral earth break no less than one hundred (100) metres from the inner mineral earth break.

POWERLINES AND POWER TRANSMISSION LINES IN TOWNSITES INCLUDING MINING AND OR CONSTRUCTION ACCOMMODATION FACILITIES

3.1 Aerial hazards to power and power transmission lines must be maintained as per the guidelines issued by the Energy Safety - Department of Mines, Industry Regulation and Safety.

For power lines conducting less than or equal to 33,000 volts; ground fuels such as grasses and ground storey species must be cleared to a minimum of five (5) metres either side of a centre line created by the poles, or towers. The total cleared area must not be less than ten (10) metres wide and the entire area must be maintained to the standard of a mineral earth break.

3.2 For power transmission lines greater than 33,000 volts, a mineral earth break of not less than five (5) metres in width must be maintained either side of the widest point of any arms or cross arms on the pole or tower. A mineral earth break of no less than five (5) metres width is to be maintained directly under the power line corridor. All power and transmission lines are to be maintained as per Australian Standard AS7000, to assist in minimizing the risk from sparks or arcing and shall be the responsibility of the owner of the transmission line.

WATER SUPPLY PIPELINES AND INFRASTRUCTURE

4.1 All water supply pipelines and associated infrastructure must have mineral earth breaks not less than five (5) metres wide on both sides of the pipeline and all associated infrastructure and be cleared of all flammable material to prevent the spread of fire and damage to the pipelines or associated infrastructure. Access points must be installed and maintained to allow for Emergency Services access and maintenance use.

EXPLOSIVES MAGAZINES AND STORAGE AREAS

5.1 All Flammable Materials are to be removed to bare earth between any bunkers or storage facilities and all Flammable Materials are to be removed for a distance of not less than fifteen (15) metres from the perimeter of any such storage area.

FUEL DEPOT / FUEL STORAGE AREA / HAYSTACKS / STOCKPILED FLAMMABLE MATERIAL

6.1 For all fuel depots/fuel storage areas, all flammable matter within 10 metres of where fuel drums, fuel ramps or fuel dumps are located, and where fuel drums, whether containing fuel or not are stored, a mineral earth break of not less than five (5) metres in width must be installed immediately adjacent

6.2 For all haystacks/stockpiled flammable materials, a mineral earth break of not less than five (5) metres in width must be installed immediately adjacent to any haystacks or stockpiled flammable material.

RAILWAY RESERVES IN TOWNSITES

7.1 Mineral earth breaks of at least five (5) metres in width must be installed immediately inside all boundaries continuous with any railway reserve on which railway traffic operates and are the responsibility of the owner of the railway.

APPLICATION TO VARY FIREBREAK REQUIREMENTS

If you consider it to be impractical to clear a mineral earth break or remove flammable material as required by this Notice, you may apply to Council or its Authorised Officer no later than the 30th day of August, for permission to provide firebreaks in alternative positions or take alternative action to remove or abate fire hazards. If permission is not granted by Council or Authorised Officer, you must comply with the requirement of this Notice. An application must include a detailed map (google map or similar) of the area you intend to vary, outlining the variation you require, along with the reason for variation.

BURNING GARDEN REFUSE DURING LIMITED BURNING TIMES

- 9.1 A person must not burn garden refuse at a place (other than a rubbish tip) during the limited burning times for that place unless it is burned:
- (a) in an incinerator in accordance with subsection (2); or
- (b) on the ground in accordance with subsection (3).
- 9.2 Garden refuse burned in an incinerator is burned in accordance with this subsection where:
- (a) the incinerator is designed and constructed so as to prevent the escape of sparks or burning material; and
- (b) either
- (i) the incinerator is situated not less than two (2) metres from any building or fence; or
- (ii) if the incinerator is less than two (2) metres from a building or fence, the Council or its Authorised Officer has given written permission in writing for the incinerator to be used; and there is no flammable material within two (2) metres of the incinerator while it is in use; and

- (c) there is no flamable material within two (2) metres of the incinerator while it is in use; and,
- (d) at least one person is present at the site of the fire at all times until it is completely extinguished;
- (e) the fire is no longer required, the person ensures that the fire is completely extinguished by the application of water or earth.
- 9.3 The Council or Authorised Officer must not give permission under subsection 9.2
- (b) (ii) unless it is satisfied that the use of the incinerator is not likely to create a fire hazard.

ADDITIONAL WORKS

10.1 In addition to the requirements of this Notice, you may be required to carry out further works which are considered necessary by an Authorised Officer and specified by way of a separate written notice forwarded to the address of the owner/s as shown on the City rates record for the relevant land.

10.2 If the requirements of this Notice are carried out by burning, such burning must be in accordance with the relevant provisions of the Act.

10.3 Pursuant to Section 33(4) of the Act, where the owner and/or occupier of land fails or neglects to comply with the requisitions of this Notice within the times specified, the City may by its officers and with such servants, workmen and contractors, vehicles and machinery as the officers deem fit, enter upon the land and carry out the requisitions of this Notice which have not been complied with and pursuant to Section 33(5) of the Act, the amount of any costs and expenses incurred may be recovered from the owner and or occupier of the land.

10.4 Failing to comply with this notice may incur a modified penalty or prosecution. A person in default is also liable, whether prosecuted or not, to pay the cost of performing the work directed in this notice, if it is not carried out by the owner or occupier by the date required by this notice.

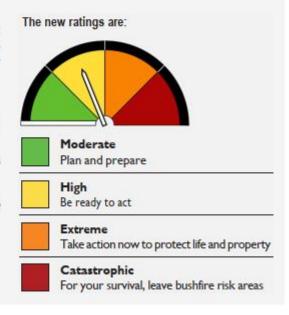
Implementing a new, nationally consistent Fire Danger Rating system.

From 1 September 2022, Australia's Fire Danger Rating System will be improved and simplified to make it easier for you to make decisions to stay safe on days of fire danger risk.

The move to a simpler system is backed by improvements in science, which will mean we can better predict areas of greater risk on days of fire danger.

Across the country fire and emergency services are applying nationally consistent colours, signs and terminology. This means that wherever you go in Australia, and whatever the season or fuels you're surrounded with, you can understand the level of threat and what you need to do to stay safe.

Visit <u>afac.com.au/initiative/afdrs</u> for more information.



Welcome Road, Karratha WA 6714 PO Box 219, Karratha WA 6714 Tel: 08 9186 8555 Fax: 08 9185 1626 Email: info@karratha.wa.gov.au Web: www.karratha.wa.gov.au Karratha Dampier Wickham Roebourne Point Samson







Bushfire Attack Level (BAL) Certificate

Determined in accordance with AS 3959-2018

This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report prepared by the Accredited Practitioner.

Property Details and Description of Works									
Address Details	Lot 2654		No.		Street name	Bayview	Road		
	Suburb Gap Ridge				2		State	Western Australia	
Local Government Area (LGA)	City o	City of Karratha							
Main BCA class of the building	Class 6			Use(s	s) of the ing	Carport			
Description of the building or works	7. Carport								

Determination of the Hig	Determination of the Highest Bushfire Attack Level												
Assessment Date	AS3959	Vegetation Classification	Slope	Separation	Determined								
19 March 2024	Assessment			Distance	BAL								
	Procedure												
Report/Certificate Date	Method 1	Class G Grassland	0/Upslope	<8m	BAL – FZ								
17 March 2025													

BPAD Accredited Practitioner Details

Name

Dwayne Griggs BPAD40466 (Level 2)

Company Details

Email: admin@wafiresafety.com.au

Mobile: <u>0415684681</u>

Links to: Facebook & Google



I hereby declare that I am a BPAD accredited bushfire practitioner

Accreditation No. BPAD 40466

Signature:

I hereby certify that the assessment of the above site & determined BAL stated above in accordance with the requirements of AS 3959-2018.

Authorised Practitioner Stamp

Reliance on the assessment and determination of the Bushfire Attack Level contained in this certificate should not extend beyond a period of 12 months from the date of issue of the certificate. If this certificate was issued more than 12 months ago, it is recommended that the validity of the determination be confirmed with the Accredited Practitioner and where required an updated certificate issued.







Bushfire Attack Level (BAL) Certificate

Determined in accordance with AS 3959-2018

This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report prepared by the Accredited Practitioner.

Property Details and Description of Works									
Address Details	Lot 2654		No.		Street name	Bayview	Road		
	Suburb Gap Ridge				è		State	Western Australia	
Local Government Area (LGA)	City of Karratha								
Main BCA class of the building	Class 6			Use(s	s) of the ing	Multiple Structures			
Description of the building or works	2. Re	staur	ant, 3	nt, 3. Bar/Recreation					

Determination of the Hig	Determination of the Highest Bushfire Attack Level												
Assessment Date	AS3959	Vegetation Classification	Slope	Separation	Determined								
19 March 2024	Assessment			Distance	BAL								
	Procedure												
Report/Certificate Date	Method 1	Class G Grassland	0/Upslope	>8m	BAL – 29								
17 March 2025													

BPAD Accredited Practitioner Details

Name

Dwayne Griggs BPAD40466 (Level 2)

Company Details

Email: admin@wafiresafety.com.au

Mobile: <u>0415684681</u>

Links to: Facebook & Google



I hereby declare that I am a BPAD accredited bushfire practitioner

Accreditation No. BPAD 40466

Signature:

I hereby certify that the assessment of the above site & determined BAL stated above in accordance with the requirements of AS 3959-2018.

Authorised Practitioner Stamp

Reliance on the assessment and determination of the Bushfire Attack Level contained in this certificate should not extend beyond a period of 12 months from the date of issue of the certificate. If this certificate was issued more than 12 months ago, it is recommended that the validity of the determination be confirmed with the Accredited Practitioner and where required an updated certificate issued.







Bushfire Attack Level (BAL) Certificate

Determined in accordance with AS 3959-2018

This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report prepared by the Accredited Practitioner.

Property Details and Description of Works									
Address Details	Lot 2654		No.		Street name	Bayview	Road		
	Suburb Gap Ridge						State	Western Australia	
Local Government Area (LGA)	City of Karratha								
Main BCA class of the building	Mixed Class		SS	Use(s	s) of the ing	Multiple Structures			
Description of the building or works	1. Ho	tel, 4	. Hot	tel Kito	then Dinn	er, 5. Storage, 6.	Toilet Blo	ock	

Determination of the Hig	Determination of the Highest Bushfire Attack Level												
Assessment Date	AS3959	Vegetation Classification	Slope	Separation	Determined								
19 March 2024	Assessment			Distance	BAL								
	Procedure												
Report/Certificate Date	Method 1	Class G Grassland	0/Upslope	>17m	BAL – 12.5								
17 March 2025													

BPAD Accredited Practitioner Details

Name

Dwayne Griggs BPAD40466 (Level 2)

Company Details

Email: admin@wafiresafety.com.au

Mobile: <u>0415684681</u>

Links to: Facebook & Google



I hereby declare that I am a BPAD accredited bushfire practitioner

Accreditation No. BPAD 40466

Signature:

I hereby certify that the assessment of the above site & determined BAL stated above in accordance with the requirements of AS 3959-2018.

Authorised Practitioner Stamp

Reliance on the assessment and determination of the Bushfire Attack Level contained in this certificate should not extend beyond a period of 12 months from the date of issue of the certificate. If this certificate was issued more than 12 months ago, it is recommended that the validity of the determination be confirmed with the Accredited Practitioner and where required an updated certificate issued.

Bushfire management plan/ Statement addressing the Bushfire Protection Criteria coversheet

Ste address: Lot 2654, Bayview Road, Gap Ridge										
Ste visit: Yes ☐ No 🗵										
Date of site visit (if applicable): Date	Month	Year								
Report author or reviewer: Nath	an Peart									
WA BPAD accreditation level (ple	ase circle):									
Not accredited Level 1 B	ALassessor Level 2 practitioner Level 3 practitioner	X								
If accredited, please provide the	following.									
BPAD accreditation number: 38	Accreditation expiry: Month May	Year	2024							
Bushfire management plan versio	n number: 5									
Bushfire management plan date:	Day 17th Month March	Year 2	2025							
Client/business name:										
		Yes	No							
Has the BAL been calculated by a (tick no if AS3959 method 1 has b	method other than method 1 as outlined in AS3959 een used to calculate the BAL)?		\boxtimes							
	n criteria elements been addressed through the use of a only acceptable solutions have been used to address all of the onts)?		\boxtimes							
Isthe proposal any of the following	(see SPP 3.7 for definitions)?	Yes	No							
Unavoidable development (in BA	40 or BAL-FZ)		\boxtimes							
Strategic planning proposal (inclu	ding rezoning applications)		\boxtimes							
High risk land-use			\boxtimes							
Vulnerable land-use										
None of the above										
	e above answers in the tables is yes should the decision maker (e.g. posal to DFES for comment.	local gove	ernment							
Why hasit been given one of the development isfor accommodati	above listed classifications (Eg. Considered vulnerable land-use as the on of the elderly, etc.)?	е								
Invites visitation by patrons who may be unfamiliar with the area and require additional support during a bushfire event.										
The information provided within th	s bushfire management plan to the best of my knowledge is true and	correct:								
Signature of report author or reviewer	Date 17.03	3.25								



Bushfire Management Plan (DA)

Proposed short term accomodation at

Lot 2654, Bayview Road, Gap Ridge

Client: -

Our reference: 24-18184

17/03/2025



Document Control

Doc name:	Bushfire Management Plan (DA) - Lot 2654, Bayview Road, Gap Ridge							
Version	Date	Author		Reviewer	Reviewer			
1	15/04/2024	Nathan Peart NP		Nathan Peart	NP			
	Initial report is	Initial report issued.						
2	11/05/2024	Nathan Peart	NP	Nathan Peart	NP			
2	Response to DFES comments							
3	05/08/2024	Nathan Peart	NP	Nathan Peart	NP			
3	Review landscaping plan and comments							
4	30/10/2024	Nathan Peart	NP	Nathan Peart	NP			
	Amendments as requested by council DA conditions							
5	17/03/2025	Nathan Peart	NP	Nathan Peart	NP			
	Updated Ste Plan							

Disclaimer and Limitation

This report is prepared solely for the client, any future landowners of the subject lot and is not for the benefit of any other person and may not be relied upon by any other person. Bushfire Smart accepts no liability or responsibility whatsoever for or in respect of any use or reliance upon this report and its supporting material by any third party.

The mitigation strategies contained in this report are considered to be prudent minimum standards only, based on the writer's experience as well as standards prescribed by relevant authorities. It is expressly stated that Bushfire Smart and the writer do not guarantee that if such standards are complied with or if a property owner exercises prudence, that a building or property will not be damaged or destroyed by bushfire or that lives will not be lost in a bush fire. Fire is an extremely unpredictable force of nature. Changing climatic factors (whether predictable or otherwise) either before or at the time of a fire can also significantly affect the nature of a fire and in a bushfire prone area it is not possible to completely guard against bushfire.

Further, the growth, planting or removal of vegetation; poor maintenance of any fire prevention measures; addition of structures not included in this report; or other activity can and will change the bushfire threat to all properties detailed in the report. Further, the achievement of the level of implementation of fire precautions will depend on the actions of the landowner or occupiers of the land, over which Bushfire Smart has no control.

This report does not negate the need to follow Local government authority requirements for Firebreak and Fuel Hazard Reduction. The client agrees that in submitting this report they approve of and will comply with all requirements detailed.

About the author:

Bushfire Smart has been providing bushfire risk management reports and advise for over 7 years and undertake assessments of planning and land development applications to verify compliance with State Planning Policy 3.7 and associated bushfire regulations.

Nathan Peart is the bushfire lead and has over 20 years' experience in the construction and planning fields. Nathan has completed a Graduate Diploma in Bushfire Protection at the University of Western Sydney and is a Level 3 Bushfire Planning and Design (BPAD) accredited practitioner. Nathan is supported by several other team members with varying levels of accreditation.

Bushfire Smart hold Professional Indemnity Insurance to the value of \$2,000,000 which includes cover for bushfire attack level assessments, planning, design and advice services as prescribed in FPA Australia's Bushfire Planning and Design Accreditation Scheme for a BPAD - Level 3 practitioner.

Author					
Nathan Peart					
Level 3 Bushfire Planning and Design (BPAD) Accre	nect.				
E: BAL@Bushfire9mart.com.au	Ph: 9555 9444				



Executive Summary

The proposal is at Lot 2654, Bayview Poad, Gap Ridge for a development application to construct a restaurant and new accommodation units on an existing caravan park site.

The proposal is in an area that has been designated as bushfire prone and must therefore comply with State Planning Policy 3.7(SPP3.7). Guidelines for Planning Bushfire Prone Areas Version 1.4 (the Guidelines) has been used to determine the proposals compliance with SPP3.7.

The site can achieve a BAL rating of 29 or below. The entire site is to be maintained to a low fuel state with all landscaping managed to the APZ requirments of the guidelines.

An assessment against the bushfire protection criteria (Appendix Four of the guidelines) is required to be undertaken. The guidelines state:

 \Box Hements 1 – 4 should be applied for all strategic planning proposals, subdivision or development applications, except for vulnerable tourism land uses which should refer to \Box Ement 5

As this proposal has been deemed a vulnerable tourism land use, \exists ements 1-4 have only been referenced where it is a requirement to do so under \exists ement 5.

Table A.1: Summary of assessment against bushfire protection criteria

⊟ement	Acceptable Solution	Compliance Method	Compliance notes.
1: Location	A1.1 Development location	Acceptable Solution	See Bement 5 for compliance with acceptable solution.
2: Sitting of development	A2.1 Asset Protection Zone(APZ)	Acceptable Solution	All landscaping within the lot is to be maintained to the APZ guidelines.
	A3.1 Public Roads	Acceptable Solution	See Bement 5 for compliance with acceptable solution.
	A3.2a Multiple access routes	Acceptable Solution	See Bement 5 for compliance with acceptable solution.
	A3.2b Emergency access ways	Acceptable Solution	See Bement 5 for compliance with acceptable solution.
3: Vehicular	A3.3 Through-roads	N/ A	
Access	A3.4a Perimeter roads	N/ A	
	A3.4b Fire service access routes	N/ A	
	A3.5 Battle axes	N/ A	
	A3.6 Private driveways	Acceptable Solution	See Bement 5 for compliance with acceptable solution.
	A4.1 Identification of future water supply	N/ A	
4: Water	A4.2 Provision of water for firefighting purposes	Acceptable Solution	The site is connected to an existing reticulated water supply, however is to have a new hydrant on site.



Ветеnt	Acceptable Solution	Compliance Method	Compliance notes.
5: Vulnerable Tourism Land Use (motel, serviced apartments, tourist development (includes cabins and chalets), holiday accommodation and caravan park)	A5.7 Siting and Design A5.8.1 & A5.8.2 Vehicular Access	Acceptable Solution Acceptable Solution	A5.7a – All facilities will have APZ A5.7b – Not Applicable A5.7c – APZ to be established over whole lot. A5.7d – Landscaping plan which requires al vegetation to be managed. A5.7e – Not applicable A5.7f – Not applicable A5.7g – Not applicable. A5.8.1a – Only one access is available due to existing nature of site. A5.8.1b - Driveway can meet requirements. A5.8.1c - Sgnage to be provided A5.8.2a - Complies A5.8.2b - All roads are through roads A5.8.2c - Not Applicable A5.8.2d – Public prads meet requirments. A5.8.2e - Not applicable
	A5.9 - Provision of Water	Acceptable Solution	A5.9a – Within reticulated water supply area and will be provided with n water source. A5.9b - Not Applicable

Compliance with this BMP, and therefore SPP3.7, will require action prior, during and after development. The items requiring implementation include:

- Driveways to be constructed and maintained to the standard stated in this BMP.
- Maintain site and all landscaping to APZ requirements.
- Install additional hydrant or fire fighting water source as required by DFES Built Environment Branch.
- Install Signage as required by this BMP
- Conduct training with all senior members onsite as per BEEP
- Conduct annual and daily preparation as per requirements of the BEEP
- Ensure all visitors are aware of Bushfire risk and evacuation procedures

The entire report should be read in conjunction with the guidelines to ensure all requirements are understood.



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1 Proposal and Site Details

1.1 Proposal Details

The subject lot at Lot 2654, Bayview Poad, Gap Ridge is 63,028m² parcel presently used as a caravan park offering recreational facilities and caravan parking sites.

The current site is set back 50m from the Bayview Rd boundary.

The proposal is to convert the existing caravan park into a mixed class complex with a hotel and restaurant.

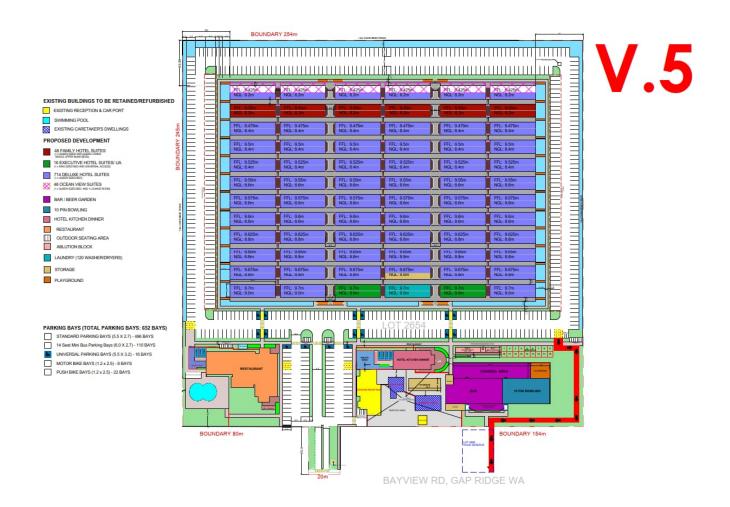


Figure 1: Site Plan





Figure 2: Location Plan

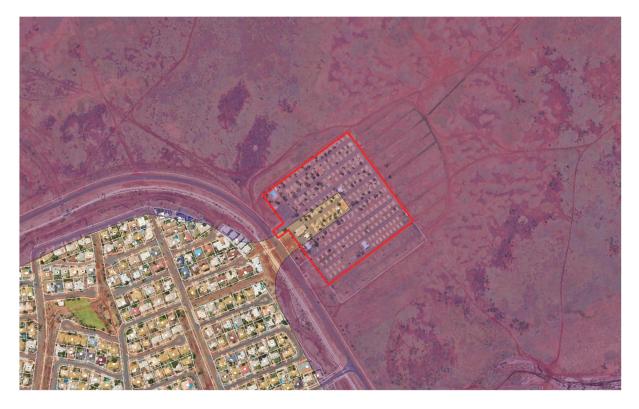


Figure 3: Map of Bushfire Prone Area for Subject Site



2 Environmental Considerations

To identify environmental, biodiversity of conservation values on the subject site, the site has been examined against the following databases as shown in table 2.

Object	Database	Identified	Details
Conservation category	DBCA-019/	No	Site not identified within database.
wetlands and buffer	DBCA-017		
RAM SAR Sites	DBCA-010	No	Site not identified within database.
Threatened and priority flora	DBCA-036	No	Site not identified within database.
Threatened and priority fauna	DBCA-037	Yes	Ste identified within area – further action
			may be required.
Threatened Ecological	DBCA-038	Yes	Ste identified within area – further action
Communities			may be required.
Bush Forever areas 2000	DPLH-019	No	Site not identified within database.
Gearing regulations –	DWER-046	No	Site not identified within database.
Environmentally Sensitive			
Areas			
Swan Bioplan Regionally	DWER-070	No	Site not identified within database.
Significant Natural Areas 2010			
Local government	-	No	-
biodiversity/planning			

Table 1: Assessment against environmental considerations

The subject site has been identified by the Department of Biodiversity, Conservation and Attractions (DBCA) as being within a threatened ecological community. However, the existing site is clear with no vegetation. There is no vegetation removal required by this BMP.

2.1 Native vegetation – modification and clearing

The site has been checked against the Native Vegetation mapping conducted by the Department of Primary Industries and Regional Development (DPIRD-005). Native vegetation has not been found on the site, as shown in the image below.

The asset protection zone, as required in this APZ, will not require the removal of native vegetation.





Figure 4: Map of Native Vegetation for Subject Site

2.2 Revegetation/landscape plans

Landscaping plans for the development indicate plantings of vegetation throughout the site. The plan complies with classification for excludable vegetation of AS3959 and the Asset Protections Zone requirments of the guidelines. The landscaped areas are to be maintained to ensure they remain in a low threat state as per the APZ requirements of this BMP.

3 Bushfire Assessment

3.1 Site Assessment

The assessment of this site/development was undertaken on 19 March 2024 by Dwayne Griggs (BPAD40466 Level 2), a BPAD Accredited Practitioner, for the purpose of determining the Bushfire Attack Level in accordance with AS 3959-2018 Smplified Procedure (Method 1). See separate report to be supplied by applicant.



4 Assessment against the Bushfire Protection

An assessment against the bushfire protection criteria (Appendix Four of the guidelines) is required to be undertaken for any strategic planning proposal, subdivision and development application for a site that has or will, on completion, have a bushfire hazard level above 'Low' or a BAL rating above BAL LOW. The following section details the measure to be taken so that this proposal complies with these.

The guidelines state:

Bements 1-4 should be applied for all strategic planning proposals, subdivision or development applications, except for vulnerable tourism land uses which should refer to Bement 5

As this proposal has been deemed a vulnerable tourism land use, \Box ements 1-4 have only been referenced where it is a requirement to do so under \Box ement 5.

Bement 1: Location						
Bement 1 will be satisfied using Acceptable Solutions of Bement 5.						
Bement 2: Sting and design of development						
⊟ement 2 will be satisfied using Acceptable Solutions of ⊟ement 5.						
⊟ement 3: Vehicular Access						
Element 3 will be satisfied using Acceptable Solutions of Element 5.						
⊟ement 4: Water						

⊟ement 4 will be satisfied using Acceptable Solutions of ⊟ement 5.



Hement 5: Vulnerable Tourism Land Uses (Other short-term accommodation)

Intent:

To provide bushfire protection for tourism land uses relevant to the characteristics of the occupants and/or the location, to preserve life and reduce the impact of bushfire on property and infrastructure.

Proposed bushfire management strategies:

Element 5 will be satisfied using Acceptable Solutions:

A5.7 Sting and Design

A5.7a – All facilities will have an APZ established.

A5.7b – Not applicable.

A5.7c – An APZ is to be provided in accordance with Element 2: Sting and Design of Development A2.1 Asset Protection Zone. The vegetation class surrounding the development is Grassland (flat). Therefore, the Asset Protection zone is to extend a minimum of 8 metres to attain a BAL-29 rating.

However, the entire lot will be maintained to a low fuel state and all vegetated areas within the lot to comply with the APZ guidelines and managed as per Schedule 1 of the guidelines, extract shown on following page.

A5.7d – A landscape plan has been developed which notes all landscaping to be irrigated, established and maintained to Asset Protection standards and exclusion clauses of AS3959.

A5.7e – Not applicable.

A5.7f – Not applicable.

A5.7g – Not applicable.

A5.8.1 Vehicular Access

A5.8.1a – Internal vehicular access to provide for emergency egress and access in the event of a bushfire. Two full access points to the public road network is not possible, due to the existing nature of the site, the need to monitor entry and exit to the site and aid security, and existing buildings and infrastructure preventing secondary access. However a secondary emergency exit has been added onto Bayview Poad to allow safer access and egress.

A5.8.1b – Private driveway is longer than 70 metres, allows for two-way traffic for the whole distance, and is circular in nature allowing for vehicles and fire appliances to enter and exit the property safely.



A5.8.1c - Signage to be provided within the site, advising of where each access route travels to and the distance and general information signs on what to do in the event of a bushfire.

A5.8.2 Vehicular access for short-term accommodation outside of a residential built-out area

A5.8.2a - Public road access is provided in two different directions (terminating at Dampier Hwy to the south-west and Searipple Rd in the east) to at least two different suitable destinations.

A5.8.2b - All public roads are through roads.

A5.8.2c - Not applicable.

A5.8.2d - Public roads meet the requirements in Table 6, Column 1.

A5.8.2e - Not applicable.

A5.9 - Provision of Water

A5.9a - Water supply is via an existing reticulated water supply. There are several Hydrant locations in the neighbouring subdivision, however the closest Hydrant is approximately 400 metres from the site which is on compliant. A new compliant hydrant is to be established on the site or alternative firefighting water supply as determined by the DFES Built Envonrment Branch.

Fire fighting equipment is to be installed in accordance with the Caravan Parks and Camping Grounds Regulations.

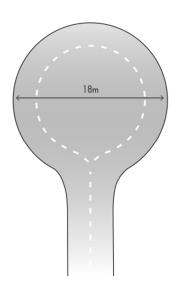
A5.9b – Not Applicable

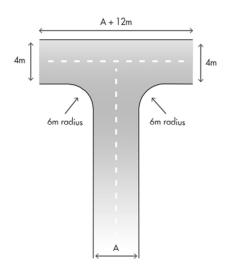


Schedule 1: Standards for asset protection zones (WAPC 2021)

Object	Requirement					
Fences within the APZ	Should be constructed from non-combustible materials (for example, iron, brick,					
	limestone, metal post and wire, or bushfire-resisting timber referenced in Appendix F of AS3959)					
Fine fuel load (Combustible,	Should be managed and removed on a regular basis to maintain a low threat state.					
dead vegetation matter <6	Should be maintained at <2 tonnes per hectare (on average).					
millimetres in thickness)	 Mulches should be non-combustible such as stone, gravel or crushed mineral earth or wood mulch >6 millimetres in thickness. 					
Trees* (>6 metres in height)	• Trunks at maturity should be a minimum distance of six metres from all elevations of the building.					
	Branches at maturity should not touch or overhang a building or powerline.					
	• Lower branches and loose bark should be removed to a height of two metres above					
	the ground and/or surface vegetation.					
	Canopy cover within the APZ should be <15 per cent of the total APZ area.					
	Tree canopies at maturity should be at least five metres apart to avoid forming a continuous canopy. Stands of existing mature trees with interlocking canopies may be treated as an individual canopy provided that the total canopy cover within the APZ will not exceed 15 per cent and are not connected to the tree canopy outside the APZ.					
	Figure 19: Tree canopy cover – ranging from 15 to 70 per cent at maturity					
	15% 30% 70%					
Shrub* and scrub* (0.5	Should not be located under trees or within three metres of buildings.					
metres to six metres in	• Should not be planted in clumps >5 square metres in area.					
height). Shrub and scrub >6	Gumps should be separated from each other and any exposed window or door by at					
metres in height are to be	least 10 metres.					
treated as trees.						
Ground covers* (<0.5	Can be planted under trees but must be maintained to remove dead plant material, as					
metres in height. Ground	prescribed in 'Fine fuel load' above.					
overs >0.5 metres in height	Can be located within two metres of a structure, but three metres from windows or					
are to be treated as shrubs)	doors if >100 millimetres in height.					
Grass	Grass should be maintained at a height of 100 millimetres or less, at all times.					
	Wherever possible, perennial grasses should be used and well-hydrated with					
Defendable speed	regular application of wetting agents and efficient irrigation					
Defendable space	Within three metres of each wall or supporting post of a habitable building, the area is kept free from vegetation, but can include ground covers, grass and non-					
	· · · · · · · · · · · · · · · · · · ·					
LP Gas Cylinders	 combustible mulches as prescribed above. Should be located on the side of a building furthest from the likely direction of a 					
LF Gas Cylinders	bushfire or on the side of a building where surrounding classified vegetation is					
	upslope, at least one metre from vulnerable parts of a building.					
	The pressure relief valve should point away from the house.					
	No flammable material within six metres from the front of the valve.					
	Must sit on a firm, level and non-combustible base and be secured to a solid					
	structure.					
	1					







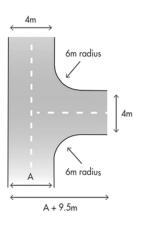


Figure 28: Design requirements
for a turn-around area
for a private driveway
or battle-axe

Extract from Guidelines: Table 6: Vehicular access technical requirements

TECHNICAL REQUIREMENTS	1 Public roads	2 Emergency access way ¹	3 Fire service access route ¹	4 Battle-axe and private driveways ²	
Minimum trafficable surface (metres)	In accordance with A3.1	6	6	4	
Minimum horizontal clearance (metres)	N/A	6	6	6	
Minimum vertical clearance (metres)	4.5				
Minimum weight capacity (tonnes)	15				
Maximum grade unsealed road ³		1:10 (10%)			
Maximum grade sealed road ³	As outlined in the IPWEA	1:7 (14.3%)			
Maximum average grade sealed road	Subdivision Guidelines	1:10 (10%)			
Minimum inner radius of road curves (metres)	8.5				

Notes:

Address: 71 Allnutt Street, Mandurah, 6210 Postal: PO Box 4160, Mandurah North, WA, 6210

¹ To have crossfalls between 3 and 6%.

² Where driveways and battle-axe legs are not required to comply with the widths in A3.5 or A3.6, they are to comply with the Residential Design Codes and Development Control Policy 2.2 Residential Subdivision.

 $^{^3}$ Dips must have no more than a 1 in 8 (12.5% -7.1 degree) entry and exit angle.



5 Implementation

The following tables set out the responsibilities of the developer(s), landowner(s) and local government for the initial implementation and ongoing maintenance associated with this proposal.

Management Action	Timing
Proponent/ Landowner	'
Install fire fighting hydrant or alternative fire fighting water source	Prior to occupancy
Install Sgnage as required by this BMP	Prior to occupancy
Conduct training with all senior members onsite as per B⊞P	Prior to occupancy
Operator/Landowner	
Maintain vehicular access routes to the required surface condition and clearances	Ongoing
Maintain all landscaping to the Asset Protection Zone (APZ) standard stated in this BMP	Ongoing
Implement requirements of the B⊞P including establishing EMT and conducting reviews	Ongoing
Conduct annual and daily preparation as per requirements of B⊞P	Ongoing
Ensure all visitors are aware of Bushfire risk and evacuation procedures	Ongoing

5.1 Acknowledgement

Acknowledgement - Proponent

The proponent acknowledges the responsibilities as listed above and the requirement to ensure that should the land transfer to a new owner, that the new owner is aware of the BMP and their ongoing responsibility.



6 General References

WA Department of Planning 2016, Visual Guide for bushfire risk assessment in Western Australia

Standards Australia 2009, AS 3959-2018 Construction of buildings in bushfire-prone areas, Sydney

Western Australian Planning Commission (WAPC) 2015, State Planning Policy 3.7 Planning in Bushfire Prone Areas, Western Australian Planning Commission, Perth, Perth

Western Australian Planning Commission and (WAPC) 2021, Guidelines for Planning in Bushfire Prone Areas Version 1.4, Western Australia

7 Online references

Office of Bushfire Risk management (OBRM) 2017, Map of Bush Fire Prone Areas, Viewed December 22, https://maps.slip.wa.gov.au/landgate/bushfireprone/

Office of Bushfire Risk Management (OBRM), Bushfire Risk Management (BRM) Plan Guidelines, Viewed December 22.

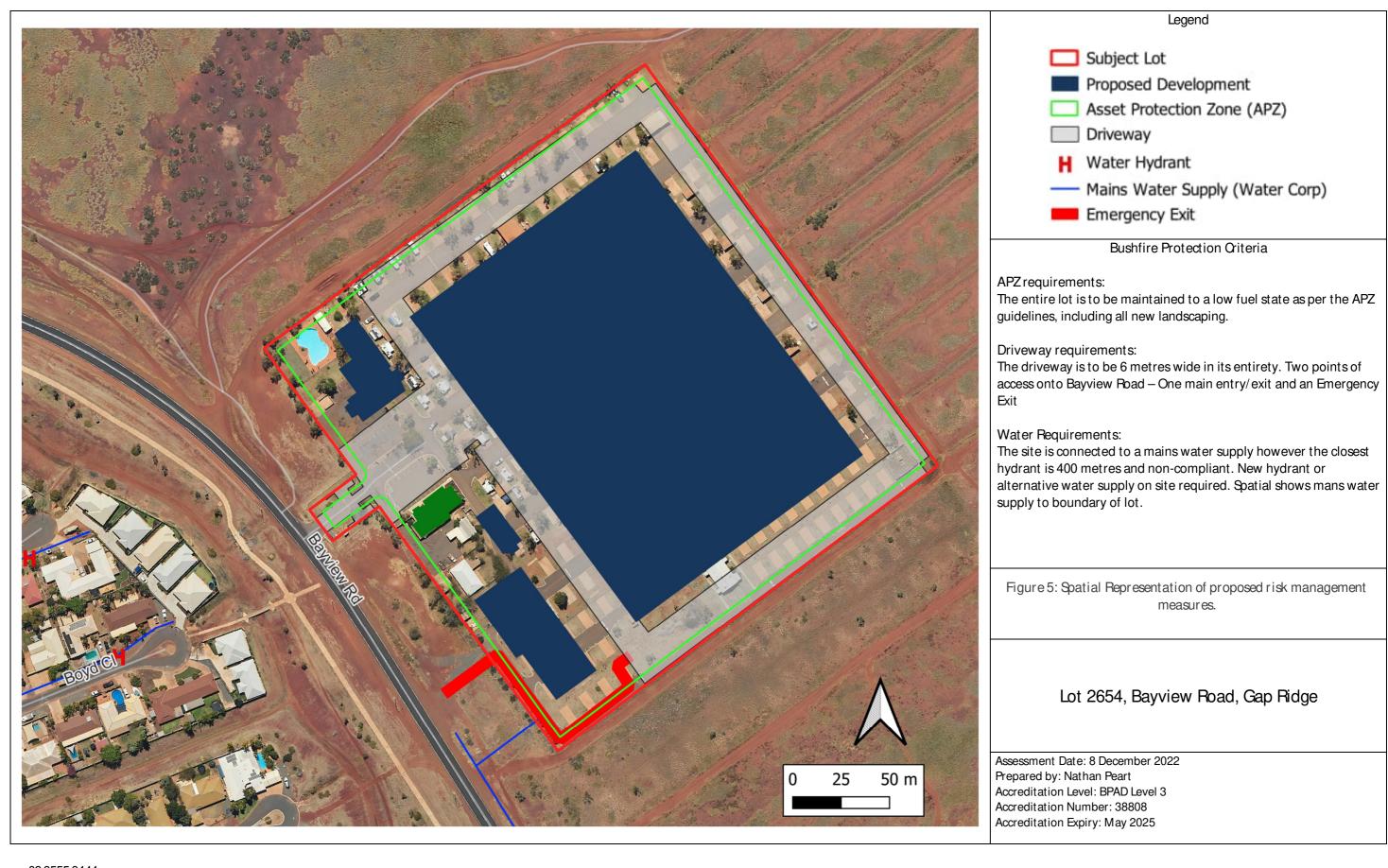
WA Local Government Association (WALGA), Environmental Planning Tool, Viewed December 22, < pbp.walga.asn.au/Tools/EnvironmentalPlanningTool.html>

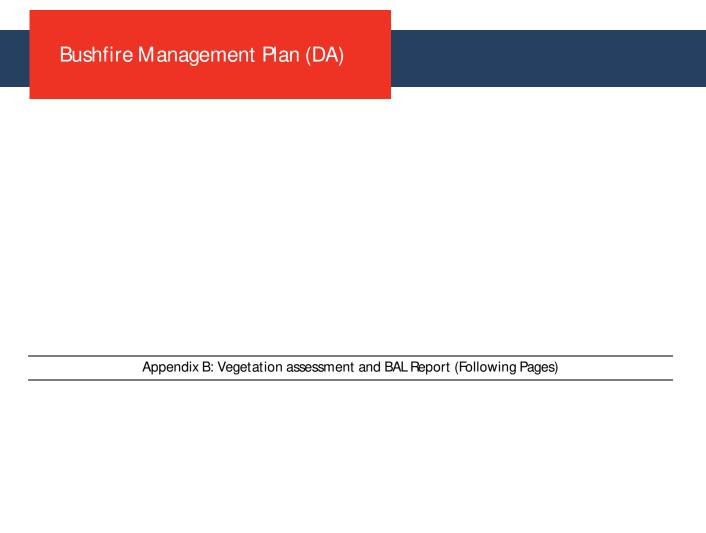


8	Apı	pen	dices
_			

Appendix A: Spatial Representation of proposed risk management measures (Next Page)













Bushfire Attack Level (BAL) Certificate

Determined in accordance with AS 3959-2018

This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report prepared by the Accredited Practitioner.

Property Details and Description of Works								
Address Details	Lot	265	4	No.		Street name	Bayview	Road
	Subu	ırb Gap Ridge St					State	Western Australia
Local Government Area (LGA)	City c	City of Karratha						
Main BCA class of the building	Mixed Class Use(s) of the building Multiple Structures 1. Hotel, 4. Hotel Kitchen Dinner, 5. Storage, 6. Toilet Block							
Description of the building or works								

Determination of the Highest Bushfire Attack Level										
Assessment Date	AS3959	Vegetation Classification	Slope	Separation	Determined					
19 March 2024	Assessment			Distance	BAL					
	Procedure									
Report/Certificate Date	Method 1	Class G Grassland	0/Upslope	>17m	BAL – 12.5					
17 March 2025										

BPAD Accredited Practitioner Details

Name

Dwayne Griggs BPAD40466 (Level 2)

Company Details

Email: admin@wafiresafety.com.au

Mobile: <u>0415684681</u>

Links to: Facebook & Google



I hereby declare that I am a BPAD accredited bushfire practitioner

Accreditation No. BPAD 40466

Signature:

I hereby certify that the assessment of the above site & determined BAL stated above in accordance with the requirements of AS 3959-2018.

Authorised Practitioner Stamp

Reliance on the assessment and determination of the Bushfire Attack Level contained in this certificate should not extend beyond a period of 12 months from the date of issue of the certificate. If this certificate was issued more than 12 months ago, it is recommended that the validity of the determination be confirmed with the Accredited Practitioner and where required an updated certificate issued.







Bushfire Attack Level (BAL) Certificate

Determined in accordance with AS 3959-2018

This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report prepared by the Accredited Practitioner.

Property Details and Description of Works									
Address Details	Lot	265	4	4 No. Street na			Bayview Road		
	Suburb Gap Ridge State Western Australia							Western Australia	
Local Government Area (LGA)	City c	City of Karratha							
Main BCA class of the building	Class 6 Use(s) of the building Multiple Structures								
Description of the building or works	2. Re	2. Restaurant, 3. Bar/Recreation							

Determination of the Highest Bushfire Attack Level										
Assessment Date	AS3959	Vegetation Classification	Slope	Separation	Determined					
19 March 2024	Assessment			Distance	BAL					
	Procedure									
Report/Certificate Date	Method 1	Class G Grassland	0/Upslope	>8m	BAL – 29					
17 March 2025										

BPAD Accredited Practitioner Details

Name

Dwayne Griggs BPAD40466 (Level 2)

Company Details

Email: admin@wafiresafety.com.au

Mobile: <u>0415684681</u>

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I hereby declare that I am a BPAD accredited bushfire practitioner

Accreditation No. BPAD 40466

Signature:

I hereby certify that the assessment of the above site & determined BAL stated above in accordance with the requirements of AS 3959-2018.

Authorised Practitioner Stamp

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Bushfire Attack Level (BAL) Certificate

Determined in accordance with AS 3959-2018

This Certificate has been issued by a person accredited by Fire Protection Association Australia under the Bushfire Planning and Design (BPAD) Accreditation Scheme. The certificate details the conclusions of the full Bushfire Attack Level Assessment Report prepared by the Accredited Practitioner.

Property Details and Description of Works									
Address Details	Lot	265	554 No. Stre		Street name	Bayview	Road		
	Suburb Gap Ridge State Western Australia								
Local Government Area (LGA)	City o	City of Karratha							
Main BCA class of the building	Class	Class 6 Use(s) of the building Carport							
Description of the building or works	7. Car	rport							

Determination of the Highest Bushfire Attack Level										
Assessment Date	AS3959	Vegetation Classification	Slope	Separation	Determined					
19 March 2024	Assessment			Distance	BAL					
	Procedure									
Report/Certificate Date	Method 1	Class G Grassland	0/Upslope	<8m	BAL – FZ					
17 March 2025										

BPAD Accredited Practitioner Details

Name

Dwayne Griggs BPAD40466 (Level 2)

Company Details

Email: admin@wafiresafety.com.au

Mobile: <u>0415684681</u>

Links to: Facebook & Google



I hereby declare that I am a BPAD accredited bushfire practitioner

Accreditation No. BPAD 40466

Signature:

I hereby certify that the assessment of the above site & determined BAL stated above in accordance with the requirements of AS 3959-2018.

Authorised Practitioner Stamp

Reliance on the assessment and determination of the Bushfire Attack Level contained in this certificate should not extend beyond a period of 12 months from the date of issue of the certificate. If this certificate was issued more than 12 months ago, it is recommended that the validity of the determination be confirmed with the Accredited Practitioner and where required an updated certificate issued.

Bushfire Attack Level Report





AS 3959 BAL Assessment Report

CTL+ Mouse Click for: Help to Understand

This report has been prepared by an Accredited BPAD Practitioner using the Simplified Procedure (Method 1) as detailed in Section 2 of AS 3959 – 2018. FPA Australia makes no warranties as to the accuracy of the information provided in the report. All enquiries related to the information and conclusions presented in this report must be made to the BPAD Accredited Practitioner, WA Fire & Safety, contact details below.

Property Details and Description of Works										
Address Details	Lot	265	4	No.		Street name	Bayview	Road		
	Subu	Suburb Gap Ridge State Western Australia						Western Australia		
Local government area	City o	City of Karratha								
Main BCA class of the building	Mixed Class Use(s) of the building					Hotel and Restaurant				
Description of the building or works	New	Build	s.				Multip	le Structures		

Report Details					
Report Number	24320	Version	4.0	Assessment Date 19 March 2024	Report/Certificate Date 17 March 2025

BPAD Accredited Practitioner Details

Name

Dwayne Griggs BPAD40466 (Level 2)

Company Details

Email: admin@wafiresafety.com.au

Mobile: 0415684681

Links to: Facebook & Google



Authorised Practitioner Stamp

BPAD 40466

I hereby declare that I am a BPAD accredited bushfire practitioner



Accreditation No.

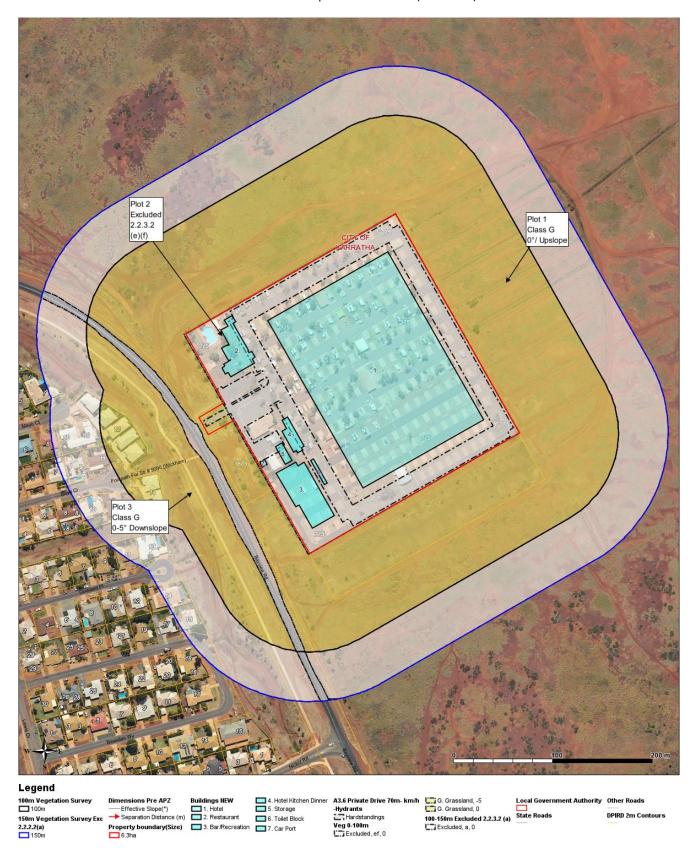
Signature:

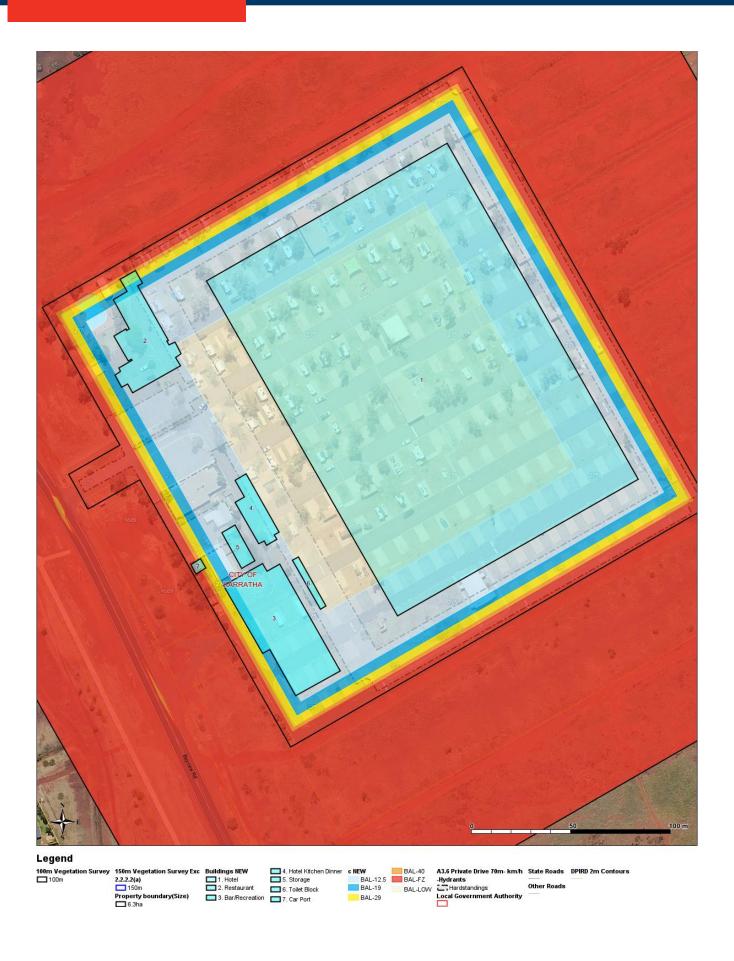
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Reliance on the assessment and determination of the Bushfire Attack Level contained in this report should not extend beyond a period of 12 months from the date of issue of the report. If this report was issued more than 12 months ago, it is recommended that the validity of the determination be confirmed with the Accredited Practitioner and where required an updated report issued.

Site Assessment Map

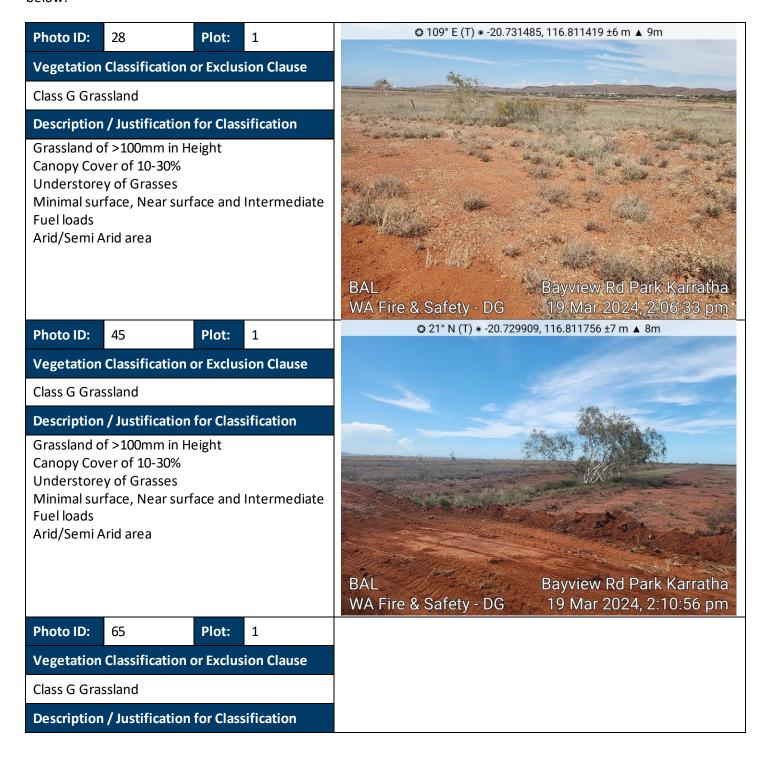
The assessment of this site / development was undertaken by a BPAD Accredited Practitioner for the purpose of determining the Bushfire Attack Level in accordance with AS 3959 - 2018 Simplified Procedure (Method 1).





Vegetation Classification

All vegetation within 100m of the site / proposed development was classified in accordance with Clause 2.2.3 of AS 3959-2018. Each distinguishable vegetation plot with the potential to determine the Bushfire Attack Level is identified below.



Grassland of >100mm in Height
Canopy Cover of 10-30%
Understorey of Grasses
Minimal surface, Near surface and Intermediate
Fuel loads
Arid/Semi Arid area

BAL Bayview Rd Park Karratha
WA Fire & Safety - DG 19 Mar 2024, 2:15:28 pm

Photo ID:

74

Plot:

1

Vegetation Classification or Exclusion Clause

Class G Grassland

Description / Justification for Classification

Grassland of >100mm in Height
Canopy Cover of 10-30%
Understorey of Grasses
Minimal surface, Near surface and Intermediate
Fuel loads
Arid/Semi Arid area

Photo ID: 42 Plot:

Vegetation Classification or Exclusion Clause

Excludable - 2.2.3.2 (e) (f) Low Threat Vegetation/Non Vegetated

Description / Justification for Classification

Maintained Areas
Canopy Cover of Less than 10%
Residential Areas
Insufficient Fuels to increase the risk from
bushfire
Non-Vegetated Areas
Irrigated gardens with low threat ground covers





Bayview Rd Park Karratha

19 Mar 2024, 2:23:18 pm

© 8° N (T) ● -20.73047, 116.809766 ±6 m ▲ 8m

Photo ID:

Plot:

BAL

WA Fire & Safety - DG

Vegetation Classification or Exclusion Clause

Excludable - 2.2.3.2 (e) (f) Low Threat Vegetation/Non Vegetated

Description / Justification for Classification

Maintained Areas

Canopy Cover of Less than 10%

Residential Areas

Insufficient Fuels to increase the risk from

bushfire

Non-Vegetated Areas

Irrigated gardens with low threat ground covers

Photo ID: 90 **Plot:**

Vegetation Classification or Exclusion Clause

Excludable - 2.2.3.2 (e) (f) Low Threat Vegetation/Non Vegetated

Description / Justification for Classification

Maintained Areas

Canopy Cover of Less than 10%

Residential Areas

Insufficient Fuels to increase the risk from

bushfire

Non-Vegetated Areas

Irrigated gardens with low threat ground covers



Photo ID:

98

Plot:

Vegetation Classification or Exclusion Clause

Excludable - 2.2.3.2 (e) (f) Low Threat Vegetation/Non Vegetated

Description / Justification for Classification

Maintained Areas

Canopy Cover of Less than 10%

Residential Areas

Insufficient Fuels to increase the risk from

bushfire

Non-Vegetated Areas

Irrigated gardens with low threat ground covers



Photo ID:

Plot:

3

Vegetation Classification or Exclusion Clause

Class G Grassland

Description / Justification for Classification

Grassland of >100mm in Height
Canopy Cover of 10-30%
Understorey of Grasses
Minimal surface, Near surface and Intermediate
Fuel loads
Arid/Semi Arid area



Photo ID:

77

Plot:

3

Vegetation Classification or Exclusion Clause

Class G Grassland

Description / Justification for Classification

Grassland of >100mm in Height
Canopy Cover of 10-30%
Understorey of Grasses
Minimal surface, Near surface and Intermediate
Fuel loads
Arid/Semi Arid area



Relevant Fire Danger Index

The fire danger index for this site has been determined in accordance with Table 2.1 or otherwise determined in accordance with a jurisdictional variation applicable to the site.

Fire Danger Index (WA is FDI of 80)								
FDI 40 🗌	FDI 50 🗌	FDI 80 🔀	FDI 100 🗌					
Table 2.4.5	Table 2.4.4	Table 2.4.3	Table 2.4.2					

Determined Bushfire Impacts (on the day of the site assessment)

Table 1a shows the potential bushfire impact to the site / proposed development from each of the identified vegetation plots are identified below to the walls or supporting posts of the structure on the day of the assessment.

Due to the significant number of structures, ratings are individually shown in the BAL contour above.

Plot	Vegetation Classification	Effective Slope	Highest BAL	Lowest BAL
1	Class G Grassland	0/Upslope	BAL – FZ	BAL – 12.5
2	Excludable – Clause 2.2.3.2 (e) & (f)	-	BAL – LOW	BAL – LOW
3	Class G Grassland	0-5 Downslope	BAL – FZ	BAL – 12.5

Table 1: BAL Analysis

Determined Bushfire Attack Level (BAL)

The Determined Bushfire Attack Level (highest BAL) for the site / proposed development has been determined in accordance with clause 2.2.6 of AS 3959-2018 using the above analysis, that includes the Bushfire Contour Map.

BAL-12.5 (BAL Certificate 1)

1. Hotel, 4. Hotel Kitchen Dinner, 5. Storage, 6. Toilet Block

BAL-29 (BAL Certificate 2)

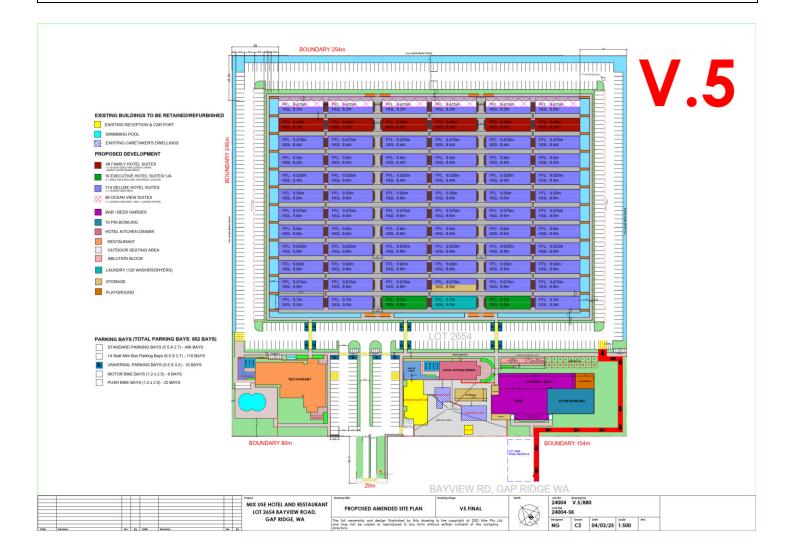
2. Restaurant, 3. Bar/Recreation

BAL-FZ (BAL Certificate 3)

7. Carport

Appendix 1: Plans and Drawings: Plans and drawings relied on to determine the bushfire attack level

Hotel and Restaurant



Appendix 2: Application of Shielding Provisions

AS3959-2018 c3.5 Shielding Provision applies as described and/or illustrated below:

- 1- 1. Hotel, 4. Hotel Kitchen Dinner, 5. Storage, 6. Toilet Block are BAL-12.5 in entirety.
- 2- 2. Restaurant, 3. Bar/Recreation is BAL-19 in entirety.
- 3- 7. Car Port is BAL-FZ in entirety.

Appendix 3: Additional Information and Advisory Notes

Excluded Vegetation (as3959 Clause 2.2.3.2):

Area contains plots that are maintained being excludable (e) and (f) low risk managed areas with APZ to 20m or lot sizes; these low-risk areas have been assessed and plotted on the map in white (plot 2).

APZ (Asset Protection Zone) or BPZ

APZ will be lot sizes upon completion, with all areas inside the lot being turned to carparking or managed gardens.

Topography

Area is mainly flat ground, with a downslope of no more than -5° to the west.

Recommendations for Landowner (FOLLOW THIS PROCEDURE!!)

- 1. Continued maintenance of the lot to the standard directed by the LGA firebreak and fuel notice (appendix 4) and,
- 2. Submission of the provided BAL Report and Certificate to the Local Government Authority (LGA) as soon as possible.
- 3. Provide any future documentation requested by the LGA including Bushfire Management Plans(BMP) or Statements (BMS).

It is the responsibility of the landowner/proponent to maintain their lot in accordance with the local government firebreak notice (LGA firebreak and fuel notice), issued under s33 of the Bushfires Act 1955.

Construction Requirements Advisory Statement:

All information given regarding construction requirements for the appropriate BAL Level from AS3959, within and outside this report is advisory only. A registered builder will be able to provide specific advice.

Statement from WAFS:

I Dwayne Griggs BPAD40466 of WA Fire & Safety, Maida Vale, have taken the appropriate steps to ensure that all the information provided in this Bushfire Attack Level Report is accurate and the correct determination of the site is given on the date of this assessment to current procedures defined by the FPAA.

Any further vegetation planted after the date of this BAL Assessment or a failure to maintain the area within this BAL Report to the same standards can dramatically change the BAL rating. This will put the structure and close structures at a higher risk in the event of extreme bushfire behaviour in the area.

It is highly recommended that the customer follows the recommendations outlined by the bushfire consultant for the subject lot, if the correct process is not adhered to this will impact costs, time, and the ability to complete the job in an effective manner.

This report does not guarantee that a structure will not be damaged or destroyed from a bushfire. This assessment is made from the information provided on site and available to me the Bushfire Consultant on the day of the assessment. The Bushfire Consultant will not be liable for loss or other consequences following a fire whether due to negligence arising from the services conducted by the consultant, local government authority, the agent requesting and or the owner/occupier.

Appendix 4: Standards for Asset Protection Zones (from SPP3.7)

An APZ is an area surrounding a building that is managed to reduce the bushfire hazard to an acceptable level. The width of the required APZ varies with slope and vegetation. The APZ should at a minimum be of sufficient size to ensure the potential radiant heat impact of a fire does not exceed 29kW/m² (BAL-29). It should be lot specific. Hazard separation in the form of using subdivision design elements (refer to E2) or excluded and low threat vegetation adjacent to the lot may be used to reduce the dimensions of the APZ within the lot.

The APZ includes a defendable space which is an area adjoining the asset within which firefighting operations can be undertaken to defend the structure. Vegetation within the defendable space should be kept at an absolute minimum and the area should be free from combustible items and obstructions. The width of the defendable space is dependent on the space which is available on the property, but as a minimum should be 3 metres.

The APZ should be contained solely within the boundaries of the lot on which the building is situated, except in instances where the neighbouring lot or lots will be managed in a low-fuel state on an ongoing basis, in perpetuity. The APZ may make use of public roads, waterways, footpaths, buildings, rocky outcrops, golf courses, maintained parkland as well as cultivated gardens in an urban context, but does not include grassland or vegetation on a neighbouring rural lot, farmland, wetland reserves and unmanaged public reserves.

APZs can adversely affect the retention of native vegetation. Where the loss of vegetation is not acceptable or causes conflict with landscape or environmental objectives, such as waterway foreshore areas and wetland buffers, reducing lot yield may be necessary in order to minimise the removal and modification of remnant vegetation.

It is the responsibility of the landowner/proponent to maintain their APZ in accordance with Schedule 1 'Standards for Asset Protection Zones'. It is further recommended that maintenance of APZs is addressed through the local government firebreak notice, issued under s33 of the Bushfires Act 1954, and preferably included in a Bushfire Management Plan specifically as a how-to guide for the landowner.

SCHEDULE 1: STANDARDS FOR ASSET PROTECTION ZONES

REQUIREMENT Fences within the APZ Should be constructed from non-combustible materials (for example, iron, brick, limestone, metal post and wire, or bushfire-resisting timber referenced in Appendix F of AS 3959). Fine fuel load Should be managed and removed on a regular basis to maintain a low threat state. (Combustible, dead vegetation Should be maintained at <2 tonnes per hectare (on average). matter <6 millimetres in · Mulches should be non-combustible such as stone, gravel or crushed mineral earth thickness) or wood mulch >6 millimetres in thickness. Trees* (>6 metres in height) Trunks at maturity should be a minimum distance of six metres from all elevations of the building. Branches at maturity should not touch or overhang a building or powerline. Lower branches and loose bark should be removed to a height of two metres above the ground and/or surface vegetation. Canopy cover within the APZ should be <15 per cent of the total APZ area. · Tree canopies at maturity should be at least five metres apart to avoid forming a continuous canopy. Stands of existing mature trees with interlocking canopies may be treated as an individual canopy provided that the total canopy cover within the APZ will not exceed 15 per cent and are not connected to the tree canopy outside the APZ. Figure 19: Tree canopy cover - ranging from 15 to 70 per cent at maturity 30% Shrub* and scrub* (0.5 · Should not be located under trees or within three metres of buildings. metres to six metres in height). Should not be planted in clumps >5 square metres in area. Shrub and scrub >6 metres Clumps should be separated from each other and any exposed window or door by in height are to be treated as at least 10 metres. Can be planted under trees but must be maintained to remove dead plant material, Ground covers* (<0.5 metres in height. Ground covers >0.5 as prescribed in 'Fine fuel load' above. metres in height are to be · Can be located within two metres of a structure, but three metres from windows or treated as shrubs) doors if >100 millimetres in height. Grass should be maintained at a height of 100 millimetres or less, at all times. Grass Wherever possible, perennial grasses should be used and well-hydrated with regular application of wetting agents and efficient irrigation. Defendable space Within three metres of each wall or supporting post of a habitable building, the area is kept free from vegetation, but can include ground covers, grass and noncombustible mulches as prescribed above. LP Gas Cylinders · Should be located on the side of a building furthest from the likely direction of a bushfire or on the side of a building where surrounding classified vegetation is upslope, at least one metre from vulnerable parts of a building. The pressure relief valve should point away from the house. No flammable material within six metres from the front of the valve.

Must sit on a firm, level and non-combustible base and be secured to a solid

structure.

Fine fuel load should be maintained to less than two tonnes per hectare, however this is often a subjective assessment. Reducing fuel load levels does not necessarily require the removal of existing vegetation. A combination of methods can be utilised to reduce fuel load such as raking, weed removal, pruning, mulching and/or the removal of plant material.

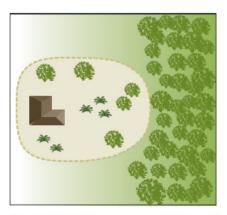
A simple method to estimate fuel load is to roughly equate one tonne of fuel load per hectare as 100 grams per square metre. For example, two tonnes per hectare of leaf litter is roughly 200 grams of leaf litter per square metre and eight tonnes per hectare is roughly 800 grams. Eucalyptus leaf litter is approximately 100 grams per handful, so two handfuls of litter per square metre will roughly equate to two tonnes per hectare. Different types of fine fuel, like mulch or pine needles may be more or less than a handful, however the 100 grams per square metre rule of thumb can still be used.

The landowner or proponent is responsible for maintaining an APZ in accordance with Schedule 1 - Standards for Asset Protection Zones. Ongoing maintenance of an APZ is usually enforced through the local government firebreak notice issued under section 33 of the *Bushfires Act 1954*, and/or through a condition of a development approval, which requires the implementation of measures identified within a BMP.

A copy of the firebreak notice and Schedule 1 should be included in a BMP specifically as a how-to guide for the landowner, and to demonstrate to decision-makers that the measures outlined in the BMP to achieve the appropriate BAL rating through provision and ongoing management of an APZ, can be implemented.

Regardless of whether an Asset Protection Zone exists in accordance with the acceptable solutions and is appropriately maintained, it should be noted that fire fighters are not obliged to protect an asset if they think the separation distance between the dwelling and vegetation is unsafe.

Hazard on one side



Hazard on three sides

Figure 18: Design of Asset

Protection Zone

Legend

APZ

trees

🗼 shrubs

E2 Landscaping and design of an asset protection zone

Landscaping, design, and maintenance of an APZ in a bushfire prone area can significantly improve the bushfire resilience of a building. An APZ should not be seen as an area entirely cleared of vegetation, but as a strategically designed space that gives holistic consideration to how existing or proposed vegetation or non-combustible features interact with, or affect the building's bushfire resilience.

A well designed APZ provides a greater level of vegetation management within the first few metres of a building with, for example, less vegetation or inclusion of non-combustible materials. The vegetation within the remainder of an APZ can increase further away from the building with carefully considered plant selection and landscaping techniques.

Strategic landscaping measures can be applied, such as replacing weeds with low flammability vegetation (refer to E2 Plant Flammability) to create horizontal and vertical separations between the retained vegetation. The accumulation of fine fuel load from different plants is an important consideration for ongoing maintenance in accordance with Schedule 1. For example, when planting ground covers under deciduous trees within an APZ, the total fine fuel load prescribed in Schedule 1 will include any dead plant material from ground covers and leaf litter from the trees.

Plant density and final structure and form of mature vegetation should be considered in the initial landscaping stages. For example, clumps of sapling shrubs planted at a density without consideration of future growth, may increase the bushfire risk as a clump will quickly grow to exceed 5m^2 . It should be noted that in some cases, a single shrub in a mature state may be so dense as to fill a 5m^2 clump alone.

The location of plants within an APZ is a key design technique. Separation of garden beds with areas of low fuel or non-combustible material, will break up fuel continuity and reduce the likelihood of a bushfire running through an APZ and subjecting a dwelling to radiant heat or direct flame contact. It is important to note, where mature trees are separated from a building by six metres, but the canopy has grown to extend or overhang a building, maintenance and pruning to remove the overhanging branches should be undertaken without the entirety of the tree being removed.

Mulches used within the APZ should be non-combustible. The use of stone, gravel, rock and crushed mineral earth is encouraged. Wood mulch >6mm in thickness may be used, however it is recommended that it is used in garden beds or areas where the moisture level is higher by regular irrigation. These materials could be sourced from non-toxic construction and demolition waste giving the added benefit of reducing the environmental impact of any 'hard landscaping' actions.

Combustible objects, plants, garden supplies such as mulches, fences made from combustible material, should be avoided within 10 metres of a building. Vines or climbing plants on pergolas, posts or beams, should be located away from vulnerable parts of the building, such as windows and doors. Non-flammable features can be used to provide hazard separation from classified vegetation, such as tennis courts, pools, lawns and driveways or paths that use inorganic mulches (gravel or crushed rock). Consider locating firewood stacks away from trees and habitable buildings.

Incorporation of landscaping features, such as masonry feature walls can provide habitable buildings with barriers to wind, radiant heat and embers. These features can include noise walls or wind breaks. Use of Appendix F of AS 3959 for bushfire resistant timber selection within areas of 29kW/m² (BAL-29) or below, or the use of non-combustible fencing materials such as iron, brick, limestone, metal post and wire is encouraged.

In addition to regular maintenance of an APZ, further bushfire protection can be provided at any time by:

- · ensuring gutters are free from vegetation;
- · installing gutter guards or plugs;
- regular cleaning of underfloor spaces, or enclosing them to prevent gaps;
- trimming and removing dead plants or leaf litter;
- pruning climbing vegetation (such as vines) on a trellis, to ensure it does not connect to a building, particularly near windows and doors;
- removing vegetation in close proximity to a water tank to ensure it is not touching the sides of a tank; and/or
- following the requirements of the relevant local government section 33 fire break notice, which may include additional provisions such as locating wood piles more than 10 metres from a building.

Preparation of a property prior to the bushfire season and/or in anticipation of a bushfire is beneficial even if your plan is to evacuate. As embers can travel up to several kilometres from a bushfire and fall into small spaces and crevices or land against the external walls of a building, best practice recommends that objects within the APZ are moved away from the building prior to any bushfire event. Objects may include, but are not limited to:

- · door mats;
- · outdoor furniture;
- · potted plants;
- shade sails or umbrellas;
- plastic garbage bins;
- · firewood stacks;
- · flammable sculptures; and/or
- playground equipment and children's toys.

E2 Plant flammability

There are certain plant characteristics that are known to influence flammability, such as moisture or oil content and the presence and type of bark. Plants with lower flammability properties may still burn during a bushfire event, but may be more resistant to burning and some may regenerate faster post-bushfire.

There are many terms for plant flammability that should not be confused, including:

- Fire resistant plant species that survive being burnt and will regrow after a bushfire and therefore may be highly flammable and inappropriate for a garden in areas of high bushfire risk.
- Fire retardant plants that may not burn readily or may slow the passage of a bushfire.
- Fire wise plants that have been identified and selected based on their flammability properties and linked to maintenance advice and planting location within a garden.

Although not a requirement of these Guidelines, local governments may develop their own list of fire wise or fireretardant plant species that suit the environmental characteristics of an area. When developing a recommended plant species list, local governments should consult with ecologists, land care officers or environmental authorities to ensure the plants do not present a risk to endangered ecological communities, threatened, or endangered species or their habitat.

When selecting plants, private landholders and developers should aim for plants within the APZ that have the following characteristics:

- · grow in a predicted structure, shape and height;
- · are open and loose branching with leaves that are thinly spread;
- · have a coarse texture and low surface-area-to-volume ratio;
- will not drop large amounts of leaves or limbs, that require regular maintenance;
- · have wide, flat, and thick or succulent leaves;
- · trees that have bark attached tightly to their trunk or have smooth bark;
- · have low amounts of oils, waxes, and resins (which will often have a strong scent when crushed);
- · do not produce or hold large amounts of fine dead material in their crowns; and/or
- · will not become a weed in the area.

Appendix 5: Local Government Authority Fire Notice



IMPORTANT FIRE MITIGATION NOTICE

ALL OWNERS AND/OR OCCUPIERS OF LAND SITUATED IN THE CITY OF KARRATHA

This is a requirement under the *Bush Fires Act 1954* Section 33. Failure to comply with this Notice may incur penalties of up to \$5,000 and the works required by this Notice will be carried out at the expense of the owner/occupier.

Pursuant to the powers contained in Section 33 of the Bush Fires Act 1954, you are hereby required on or before the 1st day of November, (or within fourteen days of your becoming owner or occupier of land should this be after the 1st day of November), or within fourteen days of you receiving this notice, to clear and maintain mineral earth breaks and reduce the fuel load from the land owned or occupied by you as specified hereunder and to have the specified land and firebreaks clear of all flammable material all year round.

LAND IN TOWNSITES- INCLUDING MINING AND OR CONSTRUCTION ACCOMMODATION FACILITIES

- 1.1 Where the area of land is 2000 square metres (approximately 1/2 an acre) or less, all flammable material must be reduced over the whole of the land. Grasses shall be slashed to a height 75mm.
- 1.2 Where the area of land exceeds 2000 square metres, mineral earth breaks of at least five
- (5) metres in width must be cleared of all flammable material immediately inside and along the boundaries of the land. Where there are buildings on the land additional mineral earth breaks five (5) metres in width must be cleared immediately surrounding each building.
- 1.3 Ensure a minimum vertical clearance of 4 metres is maintained along the firebreaks to enable vehicles to drive along the firebreaks without access being obstructed.

LAND OUTSIDE TOWNSITES INCLUDING MINING AND OR CONSTRUCTION ACCOMMODATION FACILITIES

2.1 For all buildings on land outside of the townsite, two mineral earth breaks with a width not less than five (5) metres and cleared of all flammable material must surround the buildings. The inner mineral earth break must be no less than twenty (20) metres from the perimeter of the building or group of buildings and the outer mineral earth break no less than one hundred (100) metres from the inner mineral earth break.

POWERLINES AND POWER TRANSMISSION LINES IN TOWNSITES INCLUDING MINING AND OR CONSTRUCTION ACCOMMODATION FACILITIES

3.1 Aerial hazards to power and power transmission lines must be maintained as per the guidelines issued by the Energy Safety - Department of Mines, Industry Regulation and Safety.

For power lines conducting less than or equal to 33,000 volts; ground fuels such as grasses and ground storey species must be cleared to a minimum of five (5) metres either side of a centre line created by the poles, or towers. The total cleared area must not be less than ten (10) metres wide and the entire area must be maintained to the standard of a mineral earth break.

3.2 For power transmission lines greater than 33,000 volts, a mineral earth break of not less than five (5) metres in width must be maintained either side of the widest point of any arms or cross arms on the pole or tower. A mineral earth break of no less than five (5) metres width is to be maintained directly under the power line corridor. All power and transmission lines are to be maintained as per Australian Standard AS7000, to assist in minimizing the risk from sparks or arcing and shall be the responsibility of the owner of the transmission line.

WATER SUPPLY PIPELINES AND INFRASTRUCTURE

4.1 All water supply pipelines and associated infrastructure must have mineral earth breaks not less than five (5) metres wide on both sides of the pipeline and all associated infrastructure and be cleared of all flammable material to prevent the spread of fire and damage to the pipelines or associated infrastructure. Access points must be installed and maintained to allow for Emergency Services access and maintenance use.

EXPLOSIVES MAGAZINES AND STORAGE AREAS

5.1 All Flammable Materials are to be removed to bare earth between any bunkers or storage facilities and all Flammable Materials are to be removed for a distance of not less than fifteen (15) metres from the perimeter of any such storage area.

FUEL DEPOT / FUEL STORAGE AREA / HAYSTACKS / STOCKPILED FLAMMABLE MATERIAL

6.1 For all fuel depots/fuel storage areas, all flammable matter within 10 metres of where fuel drums, fuel ramps or fuel dumps are located, and where fuel drums, whether containing fuel or not are stored, a mineral earth break of not less than five (5) metres in width must be installed immediately adjacent

6.2 For all haystacks/stockpiled flammable materials, a mineral earth break of not less than five (5) metres in width must be installed immediately adjacent to any haystacks or stockpiled flammable material.

RAILWAY RESERVES IN TOWNSITES

7.1 Mineral earth breaks of at least five (5) metres in width must be installed immediately inside all boundaries continuous with any railway reserve on which railway traffic operates and are the responsibility of the owner of the railway.

APPLICATION TO VARY FIREBREAK REQUIREMENTS

If you consider it to be impractical to clear a mineral earth break or remove flammable material as required by this Notice, you may apply to Council or its Authorised Officer no later than the 30th day of August, for permission to provide firebreaks in alternative positions or take alternative action to remove or abate fire hazards. If permission is not granted by Council or Authorised Officer, you must comply with the requirement of this Notice. An application must include a detailed map (google map or similar) of the area you intend to vary, outlining the variation you require, along with the reason for variation.

BURNING GARDEN REFUSE DURING LIMITED BURNING TIMES

- 9.1 A person must not burn garden refuse at a place (other than a rubbish tip) during the limited burning times for that place unless it is burned:
- (a) in an incinerator in accordance with subsection (2); or
- (b) on the ground in accordance with subsection (3).
- 9.2 Garden refuse burned in an incinerator is burned in accordance with this subsection where:
- (a) the incinerator is designed and constructed so as to prevent the escape of sparks or burning material; and
- (b) either
- (i) the incinerator is situated not less than two (2) metres from any building or fence; or
- (ii) if the incinerator is less than two (2) metres from a building or fence, the Council or its Authorised Officer has given written permission in writing for the incinerator to be used; and there is no flammable material within two (2) metres of the incinerator while it is in use; and

- (c) there is no flamable material within two (2) metres of the incinerator while it is in use; and,
- (d) at least one person is present at the site of the fire at all times until it is completely extinguished;
- (e) the fire is no longer required, the person ensures that the fire is completely extinguished by the application of water or earth.
- 9.3 The Council or Authorised Officer must not give permission under subsection 9.2
- (b) (ii) unless it is satisfied that the use of the incinerator is not likely to create a fire hazard.

ADDITIONAL WORKS

10.1 In addition to the requirements of this Notice, you may be required to carry out further works which are considered necessary by an Authorised Officer and specified by way of a separate written notice forwarded to the address of the owner/s as shown on the City rates record for the relevant land.

10.2 If the requirements of this Notice are carried out by burning, such burning must be in accordance with the relevant provisions of the Act.

10.3 Pursuant to Section 33(4) of the Act, where the owner and/or occupier of land fails or neglects to comply with the requisitions of this Notice within the times specified, the City may by its officers and with such servants, workmen and contractors, vehicles and machinery as the officers deem fit, enter upon the land and carry out the requisitions of this Notice which have not been complied with and pursuant to Section 33(5) of the Act, the amount of any costs and expenses incurred may be recovered from the owner and or occupier of the land.

10.4 Failing to comply with this notice may incur a modified penalty or prosecution. A person in default is also liable, whether prosecuted or not, to pay the cost of performing the work directed in this notice, if it is not carried out by the owner or occupier by the date required by this notice.

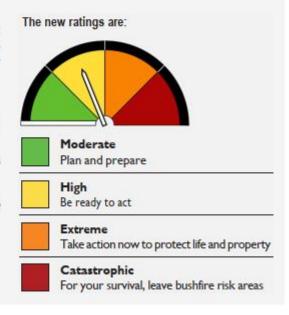
Implementing a new, nationally consistent Fire Danger Rating system.

From 1 September 2022, Australia's Fire Danger Rating System will be improved and simplified to make it easier for you to make decisions to stay safe on days of fire danger risk.

The move to a simpler system is backed by improvements in science, which will mean we can better predict areas of greater risk on days of fire danger.

Across the country fire and emergency services are applying nationally consistent colours, signs and terminology. This means that wherever you go in Australia, and whatever the season or fuels you're surrounded with, you can understand the level of threat and what you need to do to stay safe.

Visit <u>afac.com.au/initiative/afdrs</u> for more information.



Welcome Road, Karratha WA 6714 PO Box 219, Karratha WA 6714 Tel: 08 9186 8555 Fax: 08 9185 1626 Email: info@karratha.wa.gov.au Web: www.karratha.wa.gov.au Karratha Dampier Wickham Roebourne Point Samson





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BUSHFIRE EMERGENCY EVACUATION PLAN

Prepared for: Proposed short term accommodation.

At: Lot 2654, Bayview Road, Gap Ridge

Client: -

Version: 1.1

Date: February 2025

To be reviewed annually.

This plan has been prepared having regard to AS3745-2010.

DOCUMENT CONTROL

Version	Date	Details	Undertaken by
1.0	15.04.24	Draft BEEP	NP
1.1	03.02.25	Amendments as per request of City of Karratha	NP
1.2	18.03.25	Updated Site Plan(V5)	NP

Accredited Practition Name	Signature	Company Details	
Nathan Peart	nect.	EcoForm	
		BPAD Bushfire Planning & Design Accredited Practitioner Level 3	

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EMERGENCY MANAGEMENT TEAM

An Emergency Management Team (EMT) is to be established. The EMT is responsible for the development, documentation and review of this Emergency Evacuation Plan. The EMT is to include an accredited bushfire planning practitioner and the owner/operator of the facility.

NAME	ORGANISATION	CONTACT DETAILS

The EMERGENCY MANAGEMENT TEAM is:

- Responsible for ensuring the plan is promoted and available to appropriate persons.
- Responsible for nominating the key positions required as per responsibilities section of this plan and ensures the compliance of the facility with all bushfire safety measures.
- Responsible for maintaining the emergency plan and ensuring resources are provided for its implementation.

Bushfire Risk Analysis

Table 1 provides an assessment of the vulnerability of the development and location and extent of the bushfire hazard to understand how a bushfire may affect the facility and its occupants.

Table 1: Bushfire risk analysis

Bushfire risk element	Facility response	
Type of facility	Short Term Accommodation	
Type of occupants	Adult/youth/children/elderly/disabled	
Needs of occupants	Occupants are transient tourists who may be unfamiliar with the area	
Health considerations	Potential for occupants to have a disability, asthma, anxiety or to be intoxicated	
Accessibility	There two different vehicle access routes that both connect to the public road network and provide access to two different destinations.	
	The main access road is:	
	To Dampier Highway via either Balmoral Road or Bathgate Road.	
	Travel distance and direction to the nearest major public road / highway: 2.8 km (5 mins) west to Dampier Highway	
Quality of roads	The access roads are paved and 6 metres or wider.	
Bushfire prone vegetation adjacent to transport routes	Roads are bordered one side by a residential built-up area and the other side by grassland type vegetation. The vegetation may cause a smoke hazard during a bushfire event but would not cause the road to be blocked.	
Building condition / construction	The buildings will be new and in good condition. The buildings will be constructed to the relevant BAL (BAL 12.5 or BAL – Low)	
Defendable space	The driveway and carpark for the property runs around the perimeter between the building and the bushfire prone vegetation providing a defendable space.	
Overall likely bushfire impact	The facility has the potential to house tourists who may be unfamiliar with the area and people who may be mobility impaired. The buildings will be well-maintained and surrounded by extensive areas of carparks and driveways and is located a considerable distance from vegetation likely to be involved in a bushfire. The facility is serviced by more than one access route. The public road network is in good condition and relatively clear of vegetation meaning access and egress is unlikely to be restricted by a bushfire occurring in the wider area.	

Analysis of the bushfire risk assessment has determined that the Primary Action should be to Evacuate occupants early to another location (primary off-site refuge) away from the effects of a bushfire. However, in the event that there is insufficient time to conduct an evacuation, Shelter-in-place procedures are to be carried out as a last resort only.

Roles and responsibilities

Table 2 and Table 3 outline the people and organisations who are responsible for implementing the emergency procedures in the event of a bushfire.

Table 2: Roles and responsibilities

Position	Name of person	Phone number
Manager	Neal Guilmartin	0418 989 898
Assistant Manager	Daniel Campbell	0474 870 695

Table 3: Emergency contacts

Organisation	Office / contact	Information	Phone number / website
Local Fire Bridge	DFES Communications	Report a fire	000
Ambulance	Communications Centre	Report a medical emergency	000
Police	Communications Centre	Report other emergencies	000
Department of Fire and Emergency Services (DFES)	Communications Centre / website	Emergency warnings and incidents in local area	1300 657 209 www.emergency.wa.gov.au
Main Roads WA	Office / website	Road closures	138 138 www.mainroads.wa.gov.au
DFES State Emergency Service (SES)	Communications Centre	SES services	132 500

Bushfire preparation and awareness

Preparation

Preparation prior to and during the declared bushfire season is paramount to increasing a building and its occupants chance of surviving a bushfire event. The following provides a list of bushfire preparations that should be carried out within the facility prior to and during the bushfire season by the operator of the facility:

- Ensure compliance with the annual Local Government Area Fuel Hazard Reduction and Firebreak Notice.
- Ensure the APZ has been maintained to the requirements of the associated BMP for this facility. All
 vegetation within the APZ to be in accordance with the Standards for Asset Protection Zones (Schedule 1
 Guidelines for planning in bushfire prone areas V1.4
- Check all buildings are compliant with Bushfire Building standards including no gaps greater than 2mm, no flammable materials are located within 3 metres of the building. All objects attached to the buildings are non-combustible or easily removable, and the removing mechanism is in working order
- Ensure that this BEEP is reviewed and updated annually
- Make preliminary arrangements with transport providers to ensure requirments can be met
- Practice evacuation and shelter-in-place procedures as outlined within this BEEP
- Ensure that an Evacuation Diagram is displayed within the facility and occupants are aware of the BEEP
- Test any firefighting equipment present within the facility (e.g. fire hose reels, sprinklers, smoke detectors)
- Ensure compliance with Total Fire Bans.

Fire Danger Ratings

Fire Danger Ratings (FDRs) are issued by Department of Fire and Emergency Services (DFES) and provide advice about how dangerous a fire would be if one started on a particular day. An FDR of Catastrophic or Extreme means that a bushfire that starts is likely to be so intense that even well-prepared, well-constructed and actively defended homes may not survive. Under these conditions, DFES advice is to evacuate in the days or hours before a bushfire might threaten to increase the chances of survival.

Understanding the FDR categories and what they mean to the facility will help facility management to make decisions about what to do if a bushfire starts.

It is recommended that facilities with an overall risk rating of High or Extreme (from Table 1) plan to spend the day in a low bushfire risk location (such as a townsite) on days with a Catastrophic or Extreme FDR. The FDR for your local area can be checked on the following websites:

Emergency WA website (DFES): https://www.emergency.wa.gov.au/#firedangerratings
 Bureau of Meteorology website: http://www.bom.gov.au/wa/forecasts/fire-danger.shtml

CATASTROPHIC

For your survival, leave bushfire risk areas

- If a fire starts and takes hold, lives are likely to be lost.
- These are the most dangerous conditions for a fire.
- It may be too late to make a bushfire plan. Prepare your emergency kit and choose where you will go and different ways to get there.
- Stay safe by going to a safer location early in the morning or the night before.
- Homes cannot withstand fires in these conditions. You may not be able to leave, and help may not be available.

EXTREME

Take action now

- Fires will spread quickly and be extremely dangerous. These are dangerous fire conditions.
- Put your bushfire plan into action.
- If a fire starts, take immediate action. If you and your property are not prepared to the highest level, plan to leave early.
- Avoid travel through bushfire risk areas.

HIGH

Be ready to act

- Fires can be dangerous. There's a heightened risk. Be alert for fires in your area.
- If a fire starts, your life and property may be at risk.
- Leave bushfire risk areas if necessary.

MODERATE

Plan and prepare

- Most fires can be controlled.
- Stay up to date and be alert for fires in your area.

Emergency warnings

During a bushfire, DFES and the Department of Biodiversity, Conservation and Attractions (DBCA) will issue community alerts and warnings for bushfires that threaten lives and property.

The following warnings may be issued:

EMERGENCY WARNING

An out of control fire is approaching very fast. You are in danger as your area will be impacted by fire. You need to take immediate action to survive. Listen carefully as you will be advised whether you can leave the area or if you must shelter where you are as the fire burns through your area. An emergency warning may be supported with a siren sound called the Standard Emergency Warning Signal (SEWS). These factors should be reviewed on a regular basis as they may change at any time and without notice.

WATCH AND ACT

A fire is approaching and is out of control. Put your plan into action. If your plan is to leave, make sure you leave early. Only stay if you are mentally, physically and emotionally prepared to defend your property and you have all the right equipment.

ADVICE

A fire has started but there is no immediate danger. Stay alert and watch for signs of a fire.

Additional resources

Table 4 provides a list of publications that provide additional information relating to bushfire preparedness and awareness. It is recommended that facility management review these publications prior to and during the bushfire season.

Table 4: DFES preparation and awareness publications

Resource	Website
5 Minute Fire Chat online resource	https://www.dfes.wa.gov.au/firechat/Pages/default.htm
5 Minute Fire Chat publications	https://www.dfes.wa.gov.au/safetyinformation/fire/bushfire/Pages/publications.aspx
Bushfire Preparation Toolkit	https://www.dfes.wa.gov.au/safetyinformation/fire/bushfire/Bushfire ManualsandGuides/DFES-Fire-Chat-Bushfire-Preparedness-Toolkit.pdf

Pre-emptive procedures

Pre-emptive procedures are triggered:

- When occupants of the facility are made aware that there is a bushfire in the surrounding area with the potential to impact the facility (DFES 'Advice' alert)
- On days with a Fire Danger Rating of Very High, Severe or Extreme DFES recommends that residents seek information and be ready to leave if a bushfire starts on these days
- On days with a Fire Danger Rating of Catastrophic DFES considers that the only safe place in these conditions is away from bushfire risk areas.

Table 5 lists the stand-by procedures to be followed when the threat of a bushfire is not immediate.

Table 5: Stand-by procedures

Table 5: Stand-by procedures		
TRIGGER:		
On becoming aware that there is a bushfire in the surrounding area (DFES 'Advice' alert)		
On days with a Fire Danger Rating of Very High, Severe, Extreme or Catastro	pphic	
Action Person responsible		
Consult State emergency Alerts and Warnings website, DFES phone (1300 657 209) and local ABC radio (702 am) for fire situation and updates Facility manager and/ or occupants		
Appoint one of the occupants as a person in charge and ensure that they have a mobile phone and are contactable Facility manage occupants		
Inform occupants of the fire situation and account for all occupants Person in charge or delegation and account for all occupants.		
Advise DFES (000) that the centre is operating as a tourist accommodation facility	Person in charge or delegate	
Make arrangements for transportation for possible evacuation	Person in charge or delegate	

Evacuation procedures (primary action)

Evaluation of the safety of occupants has determined that it would be safer for all persons to evacuate to a designated off-site refuge, if time permits.

On-site assembly point

An on-site assembly point is an area within the premise where facility occupants are to meet on becoming aware that there is a bushfire in the area and before carrying out evacuation procedures. The assembly point is to be clearly marked to identify its location to evacuees. The designated on-site assembly point is identified in Table 6.

Table 6: Designated on-site assembly points

Assembly point	
Restaurant	

Off-site safe refuge areas

DFES and the City of Karratha will provide advice on the day as to the locations of the designated off-site safe refuge areas/welfare centres.

In the event that this information is not yet available, Table 7 lists the designated off-site refuge.

Table 7: Designated off-site refuges

Primary off-site refuge	Karratha Leisureplex
Address	2 Broadhurst Road, Stove Hill.
Nearest cross-street	Dampier Hwy
Travel distance and time	Approximately 3.4 Km (5 minutes)
Phone number	08 9186 8556

Transportation arrangements

Table 8 details the transportation arrangements required for evacuation of the facility.

Table 8: Transportation arrangements

Transportation arrangements		
Number of vehicles required	Min. 250 self-driven cars or equivalent buses.	
Type of vehicles	Private Vehicles, facility owned buses or charter buses.	
Special transport required	None	
Time required to organise transport	Immediate for private vehicles and facility owned buses	
	15-30 minutes for charter buses.	
Time required to evacuate to off-site refuge	Approximately 90 minutes	

Evacuation route

The Bushfire Evacuation Procedures diagram is displayed on the wall adjacent to door, or back of main door of each accommodation unit. The diagram depicts the safest evacuation route to the designated off-site refuge.

The primary evacuation route to Karratha Leisureplex is:

- Turn left onto Bayview Rd.
- Turn right onto Broadhurst Rd.
- At the roundabout, take the 1st exit.
- At the roundabout, take the 1st exit.
- Slight left
- Destination will be on the right.

Safety considerations while driving:

If there is a lot of smoke:

- slow down as there could be people, vehicles and livestock on the road
- turn your car headlights and hazard lights on
- close the windows and outside vents
- if you can't see clearly, pull over and wait until the smoke clears.

If you become trapped by a fire:

- park the vehicle off the roadway where there is little vegetation, with the vehicle facing towards the oncoming fire front.
- turn the engine off.
- close the car doors, windows and outside vents.
- call 000.
- stay as close to the floor as possible and cover your mouth with a damp cloth to avoid inhalation of smoke. If smoke enters the vehicle, toxic fumes are released from the interior of the vehicle.
- stay covered in woollen blankets, continue to drink water and wait for assistance.
- stay in the car until the fire front has passed and do not open windows or doors. Once the front has passed and the temperature has dropped, cautiously exit the vehicle. Internal parts may still be extremely hot.

Evacuation procedures

Evacuation procedures are triggered:

- When an approaching bushfire threatens to impact the facility (DFES 'Watch and Act' alert)
- In the situation where little warning has been received in relation to an approaching bushfire but there is still time to conduct a safe evacuation
- When advised by emergency services personnel that evacuation is necessary.

Table 9 lists the evacuation procedures to be followed during an evacuation of the facility.

Table 9: Evacuation procedures

TRIGGERS:

- On becoming aware that an approaching bushfire threatens to impact the facility (DFES 'Watch and Act' alert)
- When little warning of an approaching bushfire has been received but there is still time to perform a safe evacuation
- When advised by emergency services that evacuation of the facility is necessary

Action	Person responsible
Inform all occupants of the bushfire risk and those with self-driven cars to evacuate the site.	Person in charge or delegate
Place staff member(s) on the gate to record all those who leave. Cross check with occupancy number once evacuation complete.	
Move all occupants who have additional transport requirments to the on-site assembly area	Person in charge or delegate
Ensure transport is enroute	Person in charge or delegate
Remain calm and explain evacuation procedures to occupants	Person in charge or delegate
Advise DFES (000) that the centre is operating as a tourist accommodation facility and is performing an evacuation (advise number of occupants and where they are going)	Person in charge or delegate
Arrange for vehicles to meet at designated assembly point to pick up evacuees	Person in charge or delegate
Ensure all doors and windows are closed and evaporative air conditioners turned off prior to leaving the facility	Person in charge or delegate
Notify fire brigade (000) if building is being impacted by fire	Person in charge or delegate
Contact refuge and inform them of impending arrival	Person in charge or delegate
All occupants to travel to the off-site refuge designated by local emergency services	Individual occupants
Ensure all persons are accounted for as they leave the facility	Person in charge or delegate
Once at the refuge, move all persons inside and ensure everyone is accounted for and safe	Person in charge or delegate
Report any unaccounted or injured persons to emergency services (000)	Person in charge or delegate
Maintain situational awareness through State emergency Alerts and Warnings website, DFES phone (13 3337) and local ABC radio 702 am (ABC North West)	Person in charge, delegate and individual occupants

Recovery procedures (evacuation)

Recovery procedures are triggered when emergency services have advised that the bushfire threat has passed and it is safe to return to the facility (DFES 'All Clear' alert). Table 10 lists the recovery procedures to be carried out during an evacuation of the facility.

Table 10: Recovery procedures

TRIGGER:					
On being informed by emergency services that the bushfire threat has passed and it is safe to return to the facility (DFES 'All Clear' alert)					
Action	Person responsible				
Arrange for occupants to be moved back to the facility or to alternative accommodation	Person in charge or delegate				
Ensure all occupants accounted for on return to facility	Person in charge or delegate				
If the facility has been impacted by fire, ensure no persons re-enter the facility until emergency services have declared it as being safe	Person in charge or delegate				

Shelter-in-place procedures (last resort action only)

Evaluation of the safety of occupants has determined that there is insufficient time to conduct a safe evacuation and it would be safer for all persons to shelter in a designated on-site refuge.

Shelter-in-place procedures may need to be carried out when a DFES 'Emergency Warning' has been issued for the location advising that it is no longer safe for occupants to evacuate and that you must shelter where you are.

Shelter-in-place procedures are to be carried out as a last resort only.

On-site refuge

An on-site refuge is a building within the property that is able to adequately accommodate all occupants ideally away from the effects of a bushfire.

The designated on-site refuge is identified in Table 11. The following criteria have been considered when choosing the most suitable on-site refuge:

- whether the building/room is situated away from the potential worst-case bushfire front and the possible effects of a bushfire
- whether the building/room has the capacity to house the maximum number of occupants
- whether the building/room has an easy escape route to the outside (e.g. door leading outside) and a water supply
- whether the building has been constructed to withstand bushfire attack and has an appropriate APZ.

On-site refuge		
Restaurant		_

Shelter-in-place procedures

Shelter-in-place procedures are triggered:

- in the situation where a bushfire threatens to impact the facility imminently and there is no time to perform a safe evacuation, and/or
- when advised by emergency services or a DFES 'Emergency Warning' that sheltering in place is necessary. Table 12 lists the procedures to be followed when sheltering-in-place is required as a last resort.

Table 12: Shelter-in-place procedures

TRIGGERS:

- When a bushfire threatens to impact the facility imminently and there is no time to perform a safe evacuation
- When advised by emergency services or a DFES 'Emergency Warning' that sheltering in place is necessary

Action	Person responsible
Ensure all doors and windows are closed and evaporative air conditioners turned off	Person in charge or delegate
Remain calm and explain shelter-in-place procedures to occupants	Person in charge or delegate
Move occupants to designated on-site refuge	Person in charge or delegate
Ensure all persons are accounted for	Person in charge or delegate
Advise DFES (000) that the centre is operating as a tourist accommodation facility and occupants are sheltering-in-place (advise number of occupants and what building / room they are sheltering in)	Person in charge or delegate
Maintain situational awareness through State emergency Alerts and Warnings website, DFES phone (13 3337) and local ABC radio (684 am, 1152 am)	Person in charge, delegate and individual occupants
Soak towels and rugs in water and lay them along the inside of external doorways. Soak wool blankets and keep them available for protection against radiant heat. Take down curtains and push furniture away from windows.	Person in charge, delegate and / or individual occupants
Occupants to get down low to limit exposure to smoke and drink plenty of water to avoid becoming dehydrated.	Person in charge, delegate and individual occupants
Two persons to regularly inspect building exterior and roof cavity through the internal manhole (wearing suitable protective clothing - at a minimum long sleeves, trousers and leather boots) to identify embers and extinguish where possible	Person in charge or delegate
Stay in the building while the fire front is passing, if the building catches fire and conditions inside become unbearable, leave through the door furthest from the approaching fire and go to an area that has already burnt	Person in charge, delegate and / or individual occupants
Notify fire brigade (000) if building is being impacted by fire	Person in charge or delegate

Recovery procedures (shelter-in-place)

Recovery procedures are triggered when emergency services have advised that the bushfire threat has passed and it is safe to return to the facility (DFES 'All Clear' alert). Table 13 lists the recovery procedures to be carried out when sheltering-in-place.

Table 13: Recovery procedures

Table 13. Recovery procedures						
TRIGGER:						
On being informed by emergency services that the bushfire threat has passed (DFES 'All Clear' alert)						
Action	Person responsible					
Inform emergency services that all occupants are safe and accounted for within refuge	Person in charge or delegate					
If the facility has been impacted by fire, ensure no persons re-enter the facility until emergency services have declared it as being safe	Person in charge or delegate					
Decision made to either reopen facility or remain as closed	Person in charge or delegate					
Arrange for occupants to be relocated to alternative accommodation if facility remains closed	Person in charge or delegate					

BUSHFIRE EMERGENCY EVACUATION PROCEDURES





ADDRESS: Lot 2654 Bayview Road, Gap Ridge

BUSINESS HOURS PHONE: 0418 989 898 **AFTER HOURS PHONE:** 0418 989 898 Notes:

EVACUATION PROCEDURE

Refer to Bushfire Emergency Evacuation Plan located within information book for full evacuation procedures.

- Move to the designated assembly point on becoming aware that a bushfire is in the surrounding area.
- Call **000** and advise that the centre is operating as a tourist accommodation facility.
- Evacuate when:
- oa bushfire threatens to impact the property (DFES 'watch and act'
- olittle warning of approaching bushfire has been given but there is time to perform a safe evacuation, or
- oemergency services have advised that evacuation is necessary.
- Shelter-in-place is to be used as a last resort only when: oa bushfire threatens to impact imminently and there is no time to perform a safe evacuation, or
- oadvised by emergency services that shelter-in-place is necessary.

Sheltering-in-place is to be carried out as a last resort only.

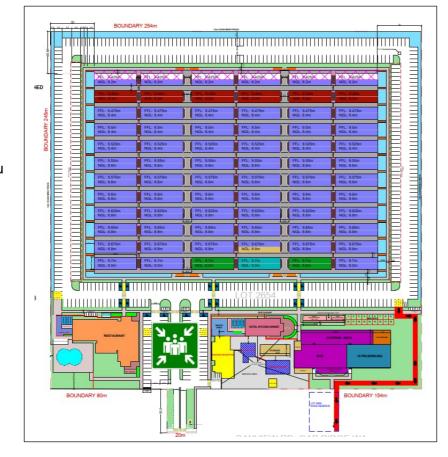
EVACUATION ROUTE

Evacuate to the Karratha Leisureplex if safe to do so.

Follow direction:

- Turn left onto Bayview Rd.
- Turn right onto Broadhurst Rd.
- At the roundabout, take the 1st exit.
- At the roundabout, take the 1st exit.
- Slight left

instructions from **Emergency Services Incident Controller**





Bushfire Information and Updates:

DFES:

Radio Updates:

Fire Danger Ratings:

DFES - 1300 657 209 www.emergency.wa.gov.au 702 am (ABC North West) 106.5 Hit 102.5 Triple M www.dfes.wa.gov.au www.bom.gov.au

BUSHFIRE ASSEMBLY POINT & REFUGE AREAS

When advised to evacuate:

- · Gather all occupants of your room/unit.
- Leave bulky personal belongings behind.
- Proceed to your vehicle. Inform staff you are leaving and how many people in your car/group, at gate as you exit
- Exit site and evacuate to Karratha Leisureplex or alternate location if advised.

If you do not have a vehicle:

- Proceed to restaurant.
- · Listen to instructions from staff, which will organise you into car/bus groups ready for evacuation.

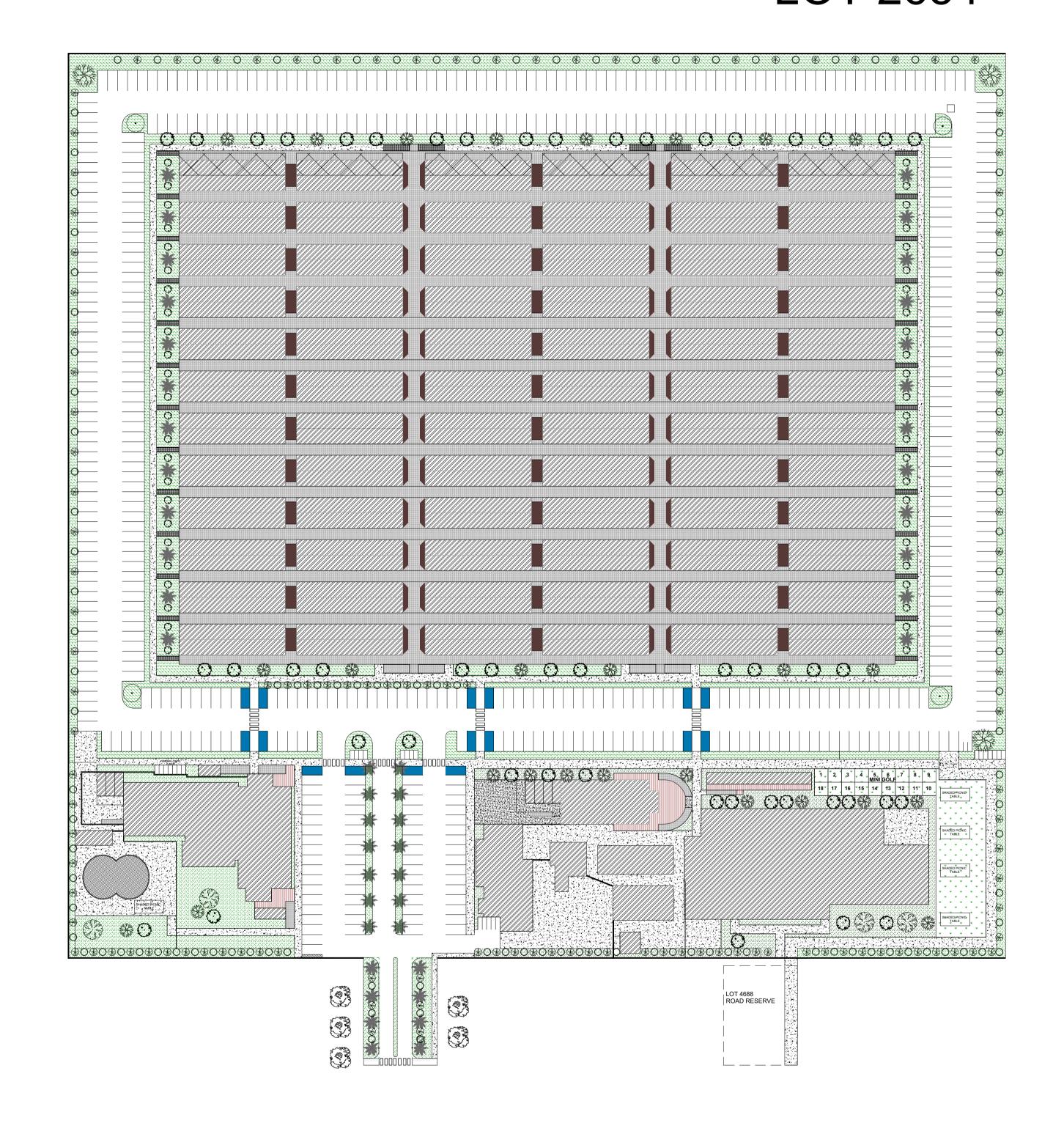


LOT 2654

MIXED USE HOTEL AND RESTAURANT

LOT 2654 BAYVIEW ROAD, GAP RIDGE, WA

	DRAWING LIST
SHEET	QTY
BAK-01-000	COVER PAGE
BAK-01-001	PLANT SCHEDULES AND PLANTING DETAILS
BAK-01-101	LANDSCAPE SITE PLAN
BAK-01-102	EXISTING VEGETATION TO BE REMOVED
BAK-01-201	INTERNAL LANDSCAPE AREAS PLAN 01
BAK-01-202	INTERNAL LANDSCAPE AREAS PLAN 02
BAK-01-203	INTERNAL LANDSCAPE AREAS PLAN 03
BAK-01-204	INTERNAL LANDSCAPE AREAS PLAN 04
BAK-01-205	RESTAURANT AND BEER GARDEN PLANTING PLAN 01
BAK-01-206	RESTAURANT AND BEER GARDEN PLANTING PLAN 02
BAK-01-301	IRRIGATION PLAN



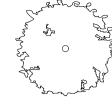


PLANT SCHEDULES

TREES	DOTANIO NAME	DENCITY		OTV
KEY	BOTANIC NAME	DENSITY	SIZE/MATURITY	QTY
HITI	Hibiscus tiliaceus	As shown	5L	32
DERE	Delonix regia	As shown	100L	18
MEL	Melaleuca	As shown	75L	4
WOBI	Wodyetia bifurcata	As shown	45L	24
LEM	Citrus limon 'Eureka'	As shown	5L	66
LIM	Citrus × latifolia	As shown	5L	64
DYLU	Dypsis Lutescens	As shown	5L	48
	All trees are secure	ed with 3 stakes.		
SHRUBS	BOTANIC NAME	DENCITY	SIZE/MATURITY	QTY
KEY	BOTANIC NAME	DENSITY	SIZE/MATURITY	QII
Leg	Liriope 'Evergreen Giant'	3 per m²	140mm	1250
Rsp	Rhoeo spathacea	2 per m²	140mm	95
Sre	Strelitzea reginae	1 per m²	200mm	204
Llo	Lomandra longifolia	3 per m²	140mm	1681
Рха	Philodendron xanadu	2 per m²	140mm	380
	RESTAURANT AND BEER G	ARDEN PLANT	ING(RBGP)	
TREES	BOTANIC NAME	DENSITY	SIZE/MATURITY	QTY
HITI	Hibiscus tiliaceus	As shown	5L	16
PEPT	Peltophorum pterocarpum	As shown	100L	4
DERE	Delonix regia	As shown	45L	10
WOBI	Wodyetia bifurcata	As shown	45L	22
LEM	Citrus limon 'Eureka'	As shown	5L	57
LIM	Citrus × latifolia	As shown	5L	55
	All trees are secure	ed with 3 stakes.		
SHRUBS	BOTANIC NAME	DENSITY	SIZE/MATURITY	QTY
Leg	Liriope 'Evergreen Giant'	3 per m²	140mm	25
Rsp	Rhoeo spathacea	2 per m²	140mm	276
Sre	Strelitzea reginae	1 per m²	200mm	45
Llo	Lomandra longifolia	3 per m²	140mm	512
Pxa	Philodendron xanadu	2 per m²	140mm	80
Gps	Gardenia psodioides 'Glennie River'	2 per m²	140mm	300
Rin	Rhaphiolepis indica	2 per m²	140mm	52
GROUNDCOVER	BOTANIC NAME	DENSITY	SIZE/MATURITY	AREA
TURF	Empire Zoysia			820m²

1. ALL PLANTING TO BE SETBACK MINIMUM 1.0m FROM BACK OF ROAD KERB & 0.6m FROM PATH EDGES 2. PLANTING HOLES ARE TO BE AUGERED TO A DEPTH OF 300mm MINIMUM, SOIL CONDITIONER, BAILEYS TERRASTART AND FERTILISER TABLETS SHALL BE TO APPLIED TO ALL TUBESTOCK PLANTING AS SPECIFIED 3. All LANDSCAPING SHOULD ACHIEVE AND MUST NOT COMPROMISE THE BUSHFIRE ASSET PROTECTION ZONE REQUIREMENTS.

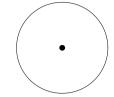
PLANT LEGEND



HITI: Hibiscus Tiliaceus Cottonwood



DERE: Delonix Regia Red Poinciana



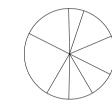
MEL: Melaleuca



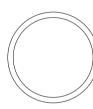
PEPT: Peltophorum Pterocarpum Yellow Poinciana



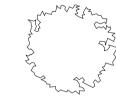
WOBI: Wodyetia bifurcata Foxtail Palm



LEM: Citrus limon 'Eureka' Lemon Eureka



LIM: Citrus × latifolia Tahitian Lime



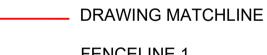
DYLU: Dypsis Lutescens Golden Cane



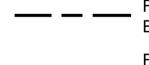
ADG: Adansonia gregorii Boab Tree

LEGEND





FENCELINE 1
EXISTING 1.8m HIGH CHAINMESH



FENCELINE 2
2.4m HIGH GARRISON FENCE - DARK GREEN



ACOUSTIC BARRIER LINE



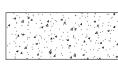
ILA: INTERNAL LANDSCAPE AREAS
- REFER PLANT SCHEDULES



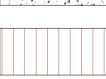
RBGP: RESTAURANT AND BEER GARDEN PLANTING - REFER PLANT SCHEDULES



ROLL - ON TURF - Empire Zoysia



CONCRETE PATH
- REFER ARCHITECTURAL SITE PLAN



DECKING - REFER ARCHITECTURAL SITE PLAN



BRICK PAVING - REFER ARCHITECTURAL SITE PLAN



MIXED USE HOTEL AND RESTAURANT

LOT 2654 BAYVIEW ROAD,

GAP RIDGE, WA

BUILDINGS
- REFER ARCHITECTURAL SITE PLAN

PLANT SCHEDULES
AND PLANTING DETAILS

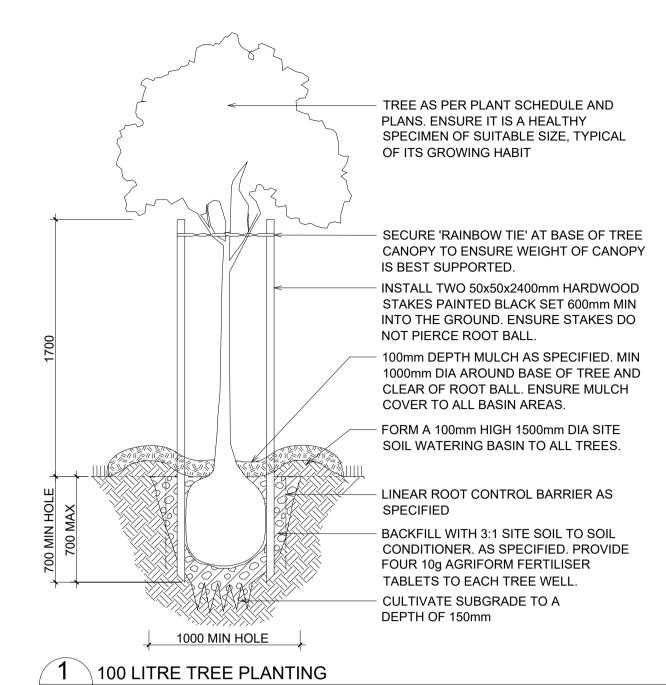
V5 FINAL

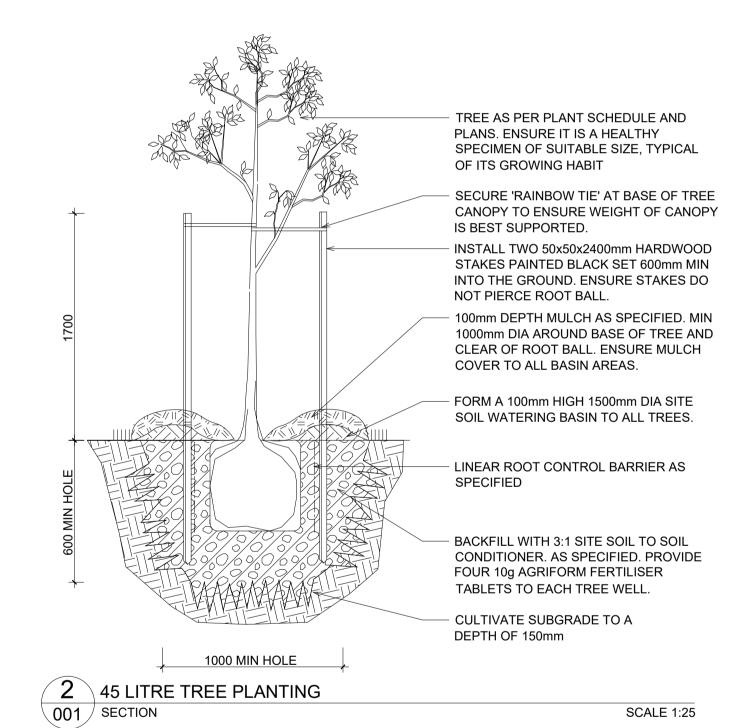
Drawing Stage

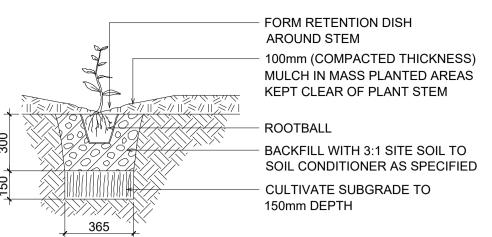
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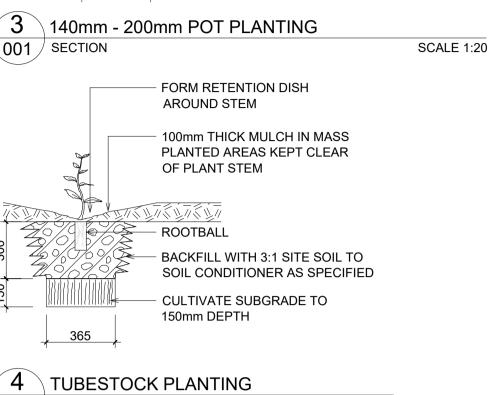
LANDSCAPE DETAILS

001 SECTION









SCALE 1:20

STANDARD NOTES

001 SECTION

SCALE 1:25

- 1. SET OUT & DIMENSIONS. THE CONTRACTOR SHALL SET OUT ALL PATHS, WALLS, HARD SURFACES AND ELEMENTS EITHER ON SITE PRIOR TO CONSTRUCTION AND SHALL OBTAIN THE SUPERINTENDENTS APPROVAL PRIOR TO WORKS COMMENCING. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE. CHECK ALL DRAWING SCALES IN CONJUNCTION WITH DRAWING SIZE
- 2. SERVICES & SITE ASSETS. THE CONTRACTOR SHALL INVESTIGATE THE NATURE AND LOCATION OF ALL EXISTING SERVICES AND RETAINED SITE ASSETS AFFECTED BY THEIR WORKS. FAILURE TO TAKE DUE CARE SHALL NOT LIMIT THE CONTRACTORS LIABILITIES.
- FAILURE TO TAKE DUE CARE SHALL NOT LIMIT THE CONTRACTORS LIABILITIES.

 3. REFERENCE. THE CONTRACTOR SHALL REFER TO ALL CONTRACT DOCUMENTS, THE
- SPECIFICATION AND DRAWINGS PRIOR TO AND DURING THE WORKS.

 4. DISCREPANCIES. NOTIFY SUPERINTENDENT OF ANY SUSPECTED OR KNOWN DISCREPANCIES OR ERRORS PRIOR TO THE ORDERING OF AFFECTED MATERIALS AND OR
- CONSTRUCTION OF AFFECTED WORKS.

 5. RELEVANT STANDARDS. THE CONTRACTOR SHALL UNDERTAKE ALL PRICING AND WORKS IN ACCORDANCE WITH CURRENT INDUSTRY BEST PRACTICE AND ALL RELEVANT AUSTRALIAN STANDARDS.
- 6. SERVICE LOCATOR. THE CONTRACTOR SHALL UNDERTAKE A DIAL BEFORE YOU DIG PROCESS PRIOR TO COMMENCING WORKS ON SITE. THE CONTRACTOR SHALL ENGAGE A SERVICE LOCATOR TO MAP THE SPECIFIC LOCATIONS AND DEPTH OF ALL SERVICES AND ADVISE ALL RELEVANT STAFF AND SUBCONTRACTORS IN WRITING PRIOR TO COMMENCING WORKS ON SITE.

Job No. Drawing No.

24004 BAK - 02 - 001

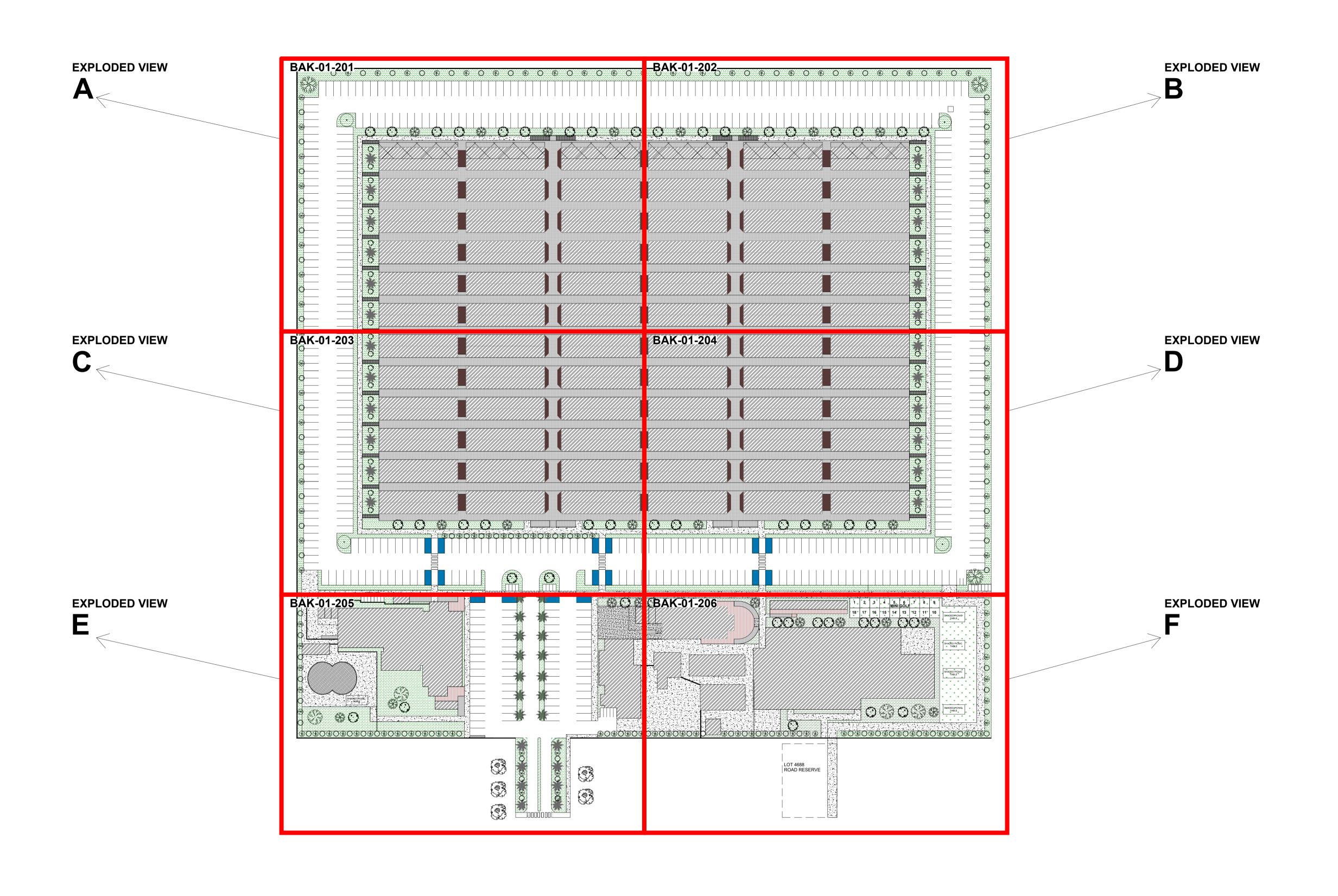
Cad File

24004-SK

Designed Drawn Date Scale

24004-SK

| Designed | Drawn | Date | Scale | Rev. |
| NG | CZ | 14/03/25 | 1:25 @ A1 |







EXISTING VEGETATION INFORMATION						
LEGEND	TYPE	NAME	BOTANIC NAME	SIZE		
Harris A. L. S. Land Land Land Land Land Land Land Land	1	Sugar Gum	Eucalyptus cladocalyx	3m		
	2	Coconut Palm	Cocos nucifera	5m		
	3	Boab Tree	Adansonia gregorii	4m		

Revision	No	Rv	Date	Revision	No.	Ву	
							P
							_
	Revision	Revision	Revision No By	Revision No Ry Date	Revision No. By Date Revision	Revision No. Ry. Date Revision No.	Revision No. By Date Revision No. By

MIXED USE HOTEL AND RESTAURANT LOT 2654 BAYVIEW ROAD, GAP RIDGE, WA EXISTING VEGETATION PLAN

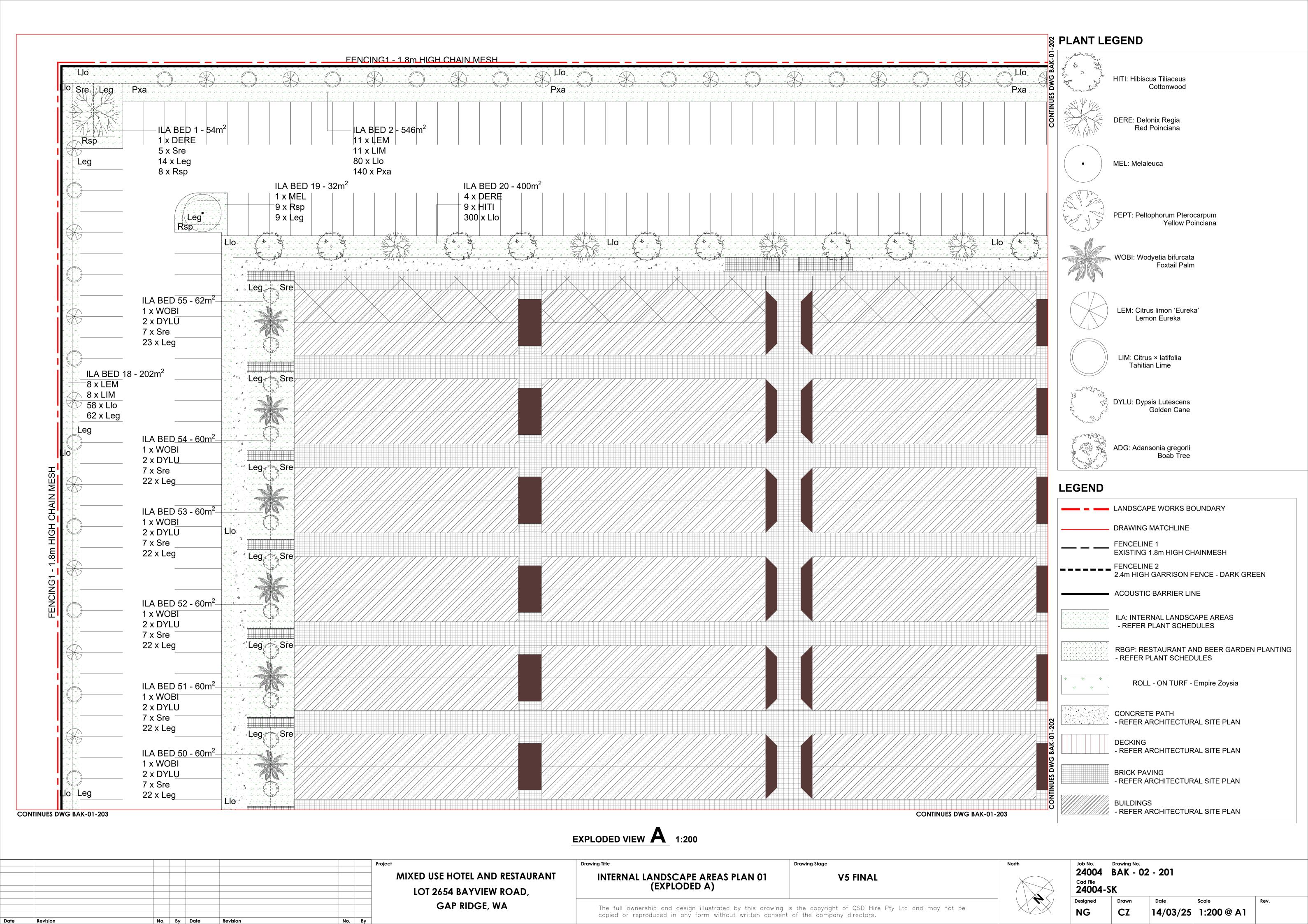
V5 FINAL

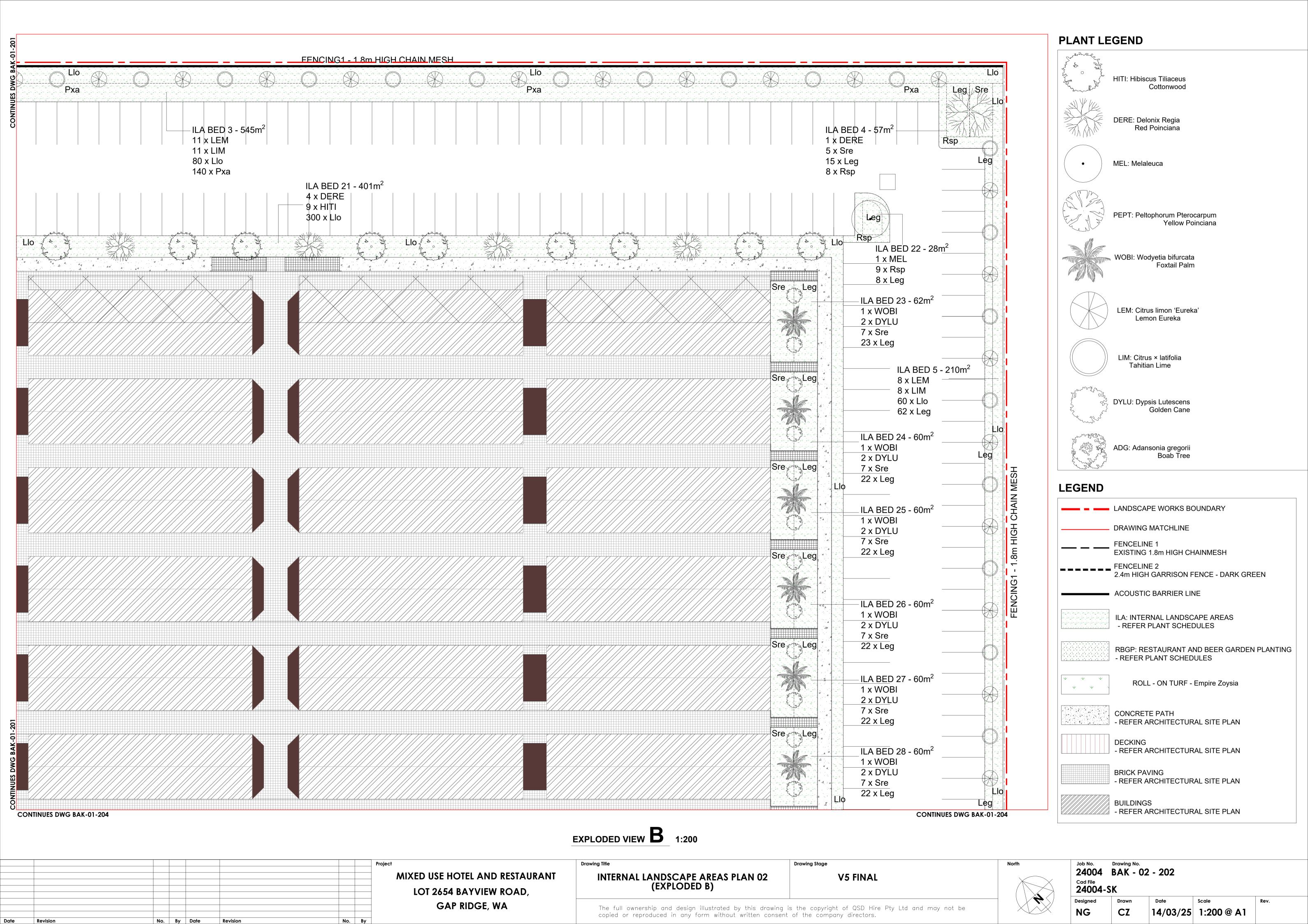
Drawing Stage

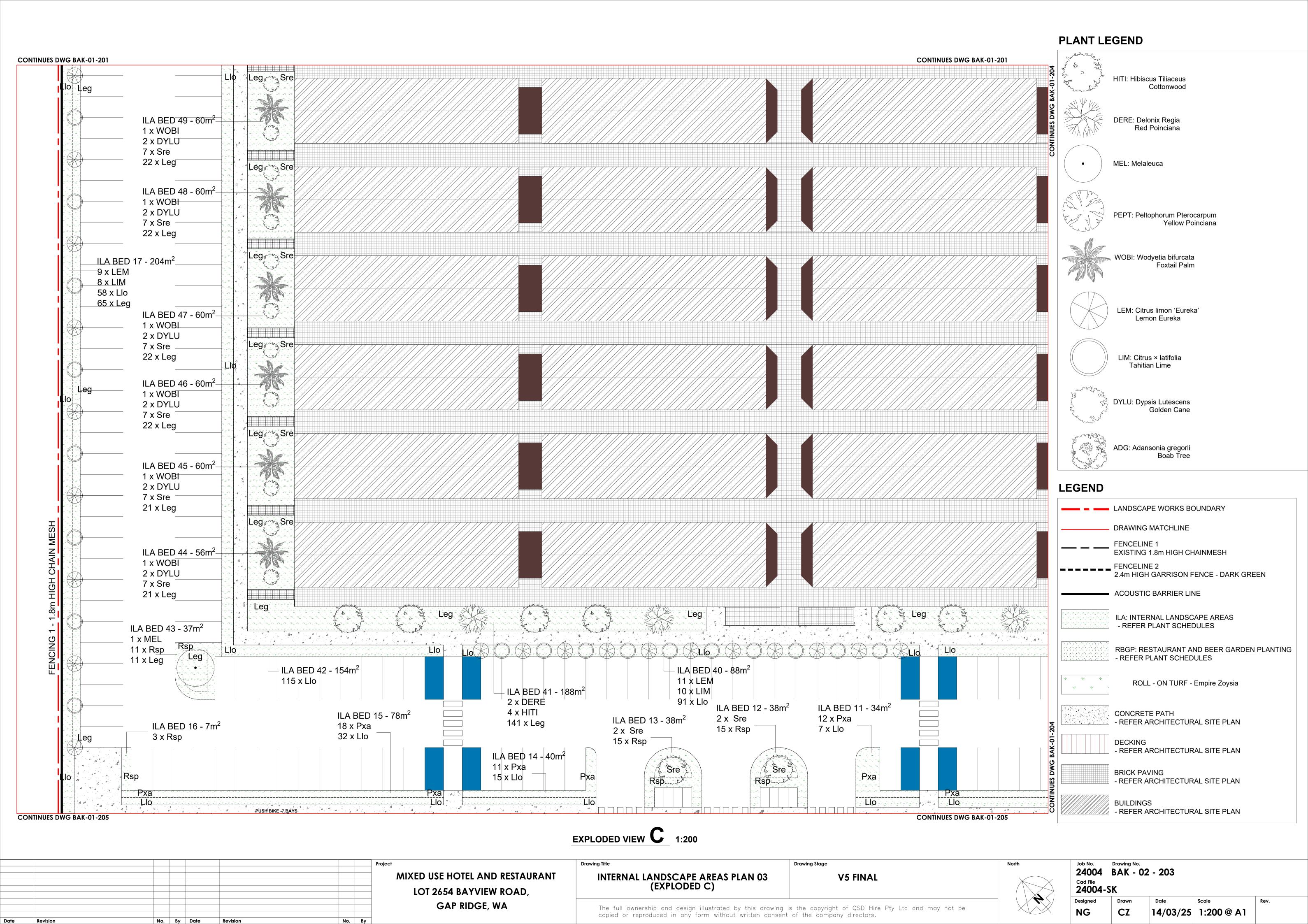
Job No. Drawing No.
24004 BAK - 02 - 102
Cad File
24004-SK

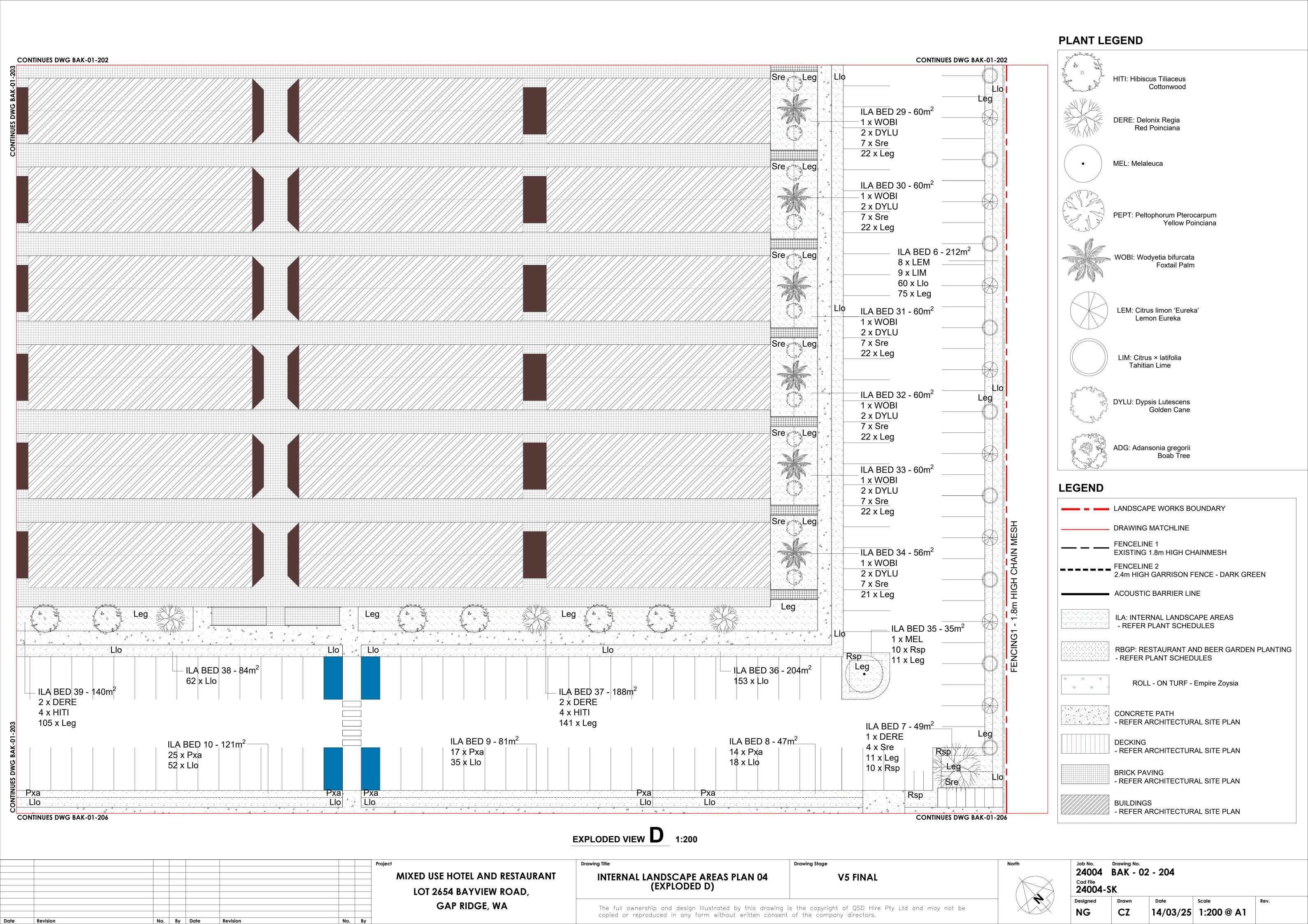
 Designed
 Drawn
 Date
 Scale

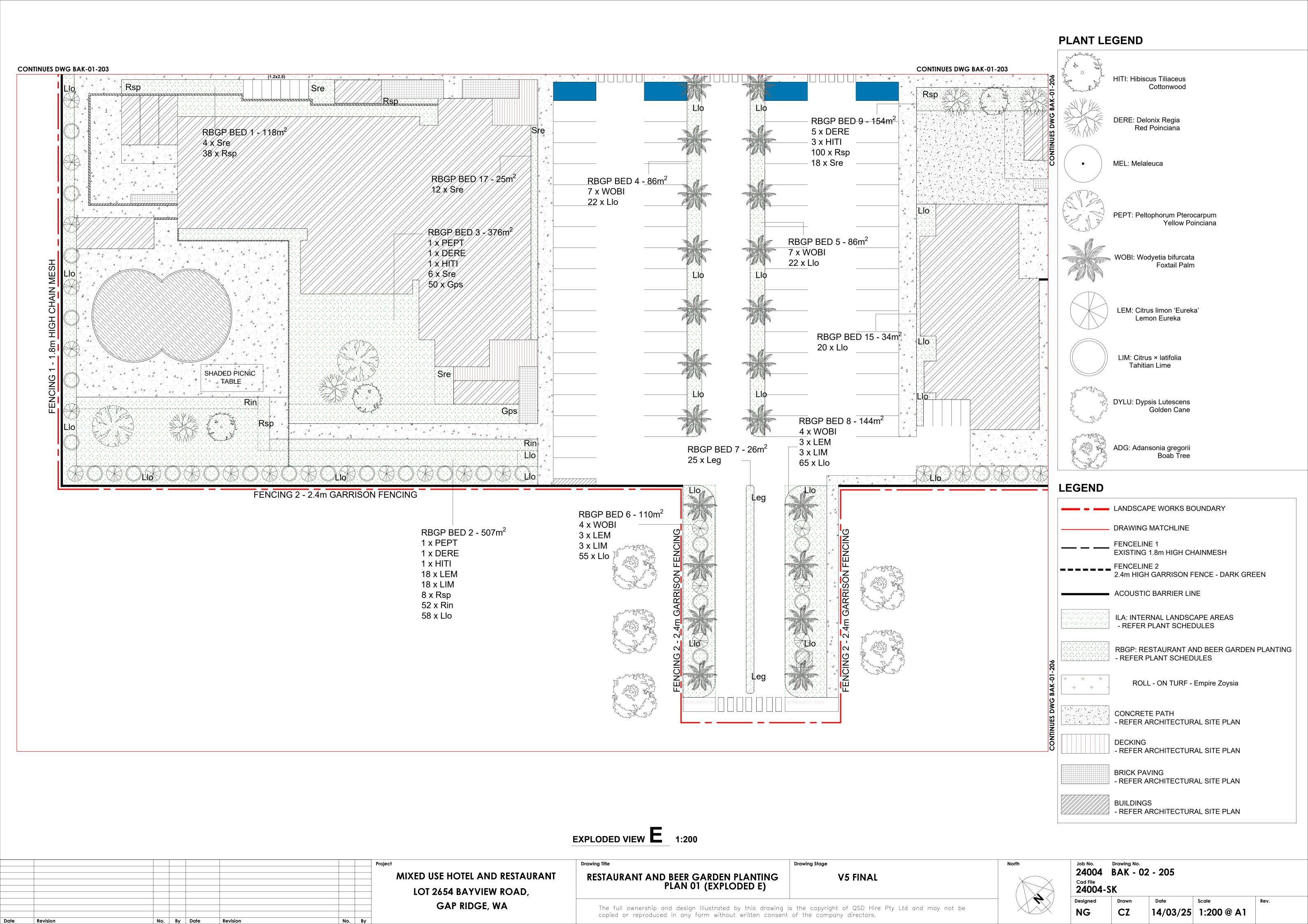
 NG
 CZ
 14/03/25
 1:750 @ A1

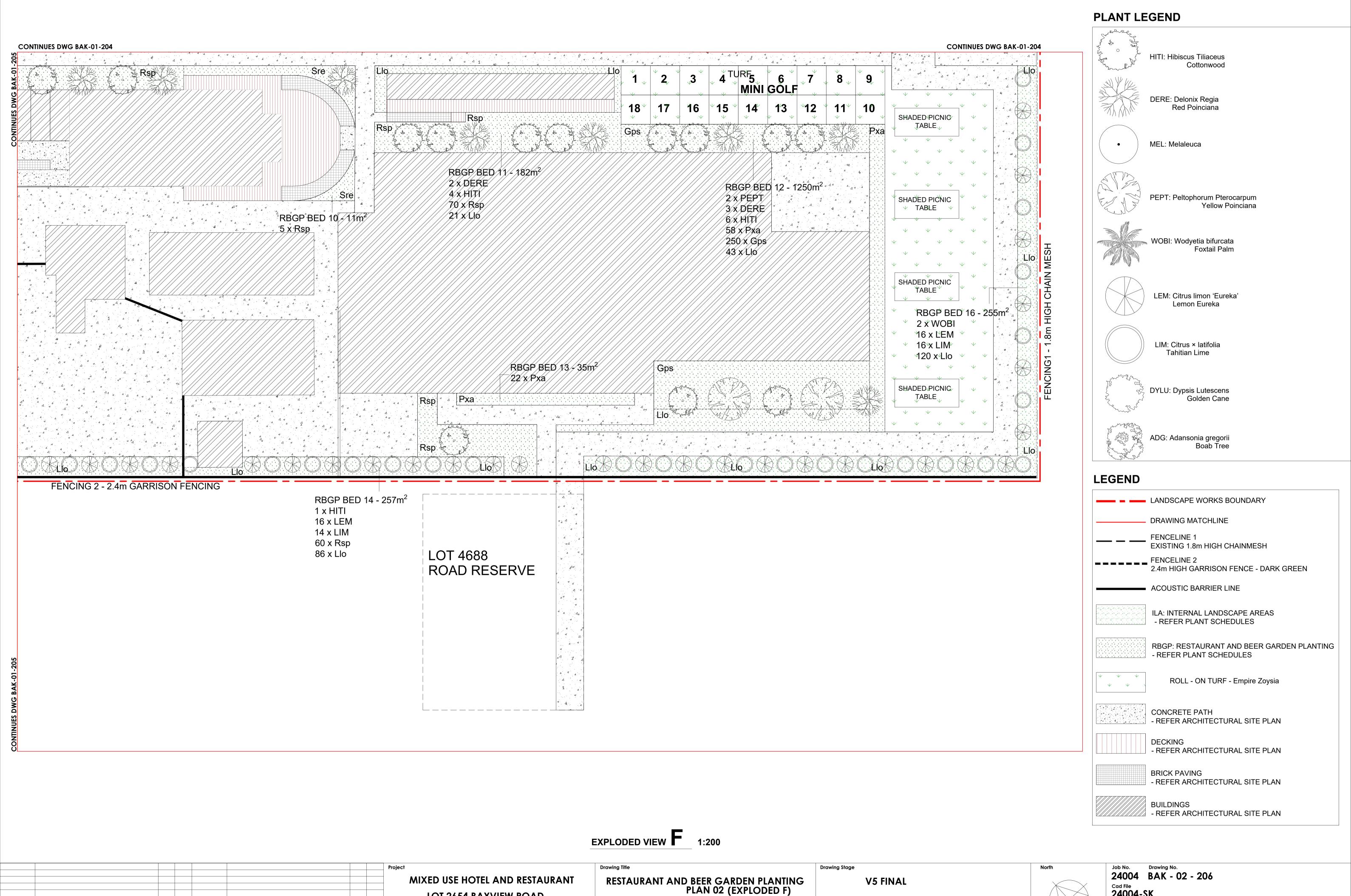












LOT 2654 BAYVIEW ROAD,

GAP RIDGE, WA

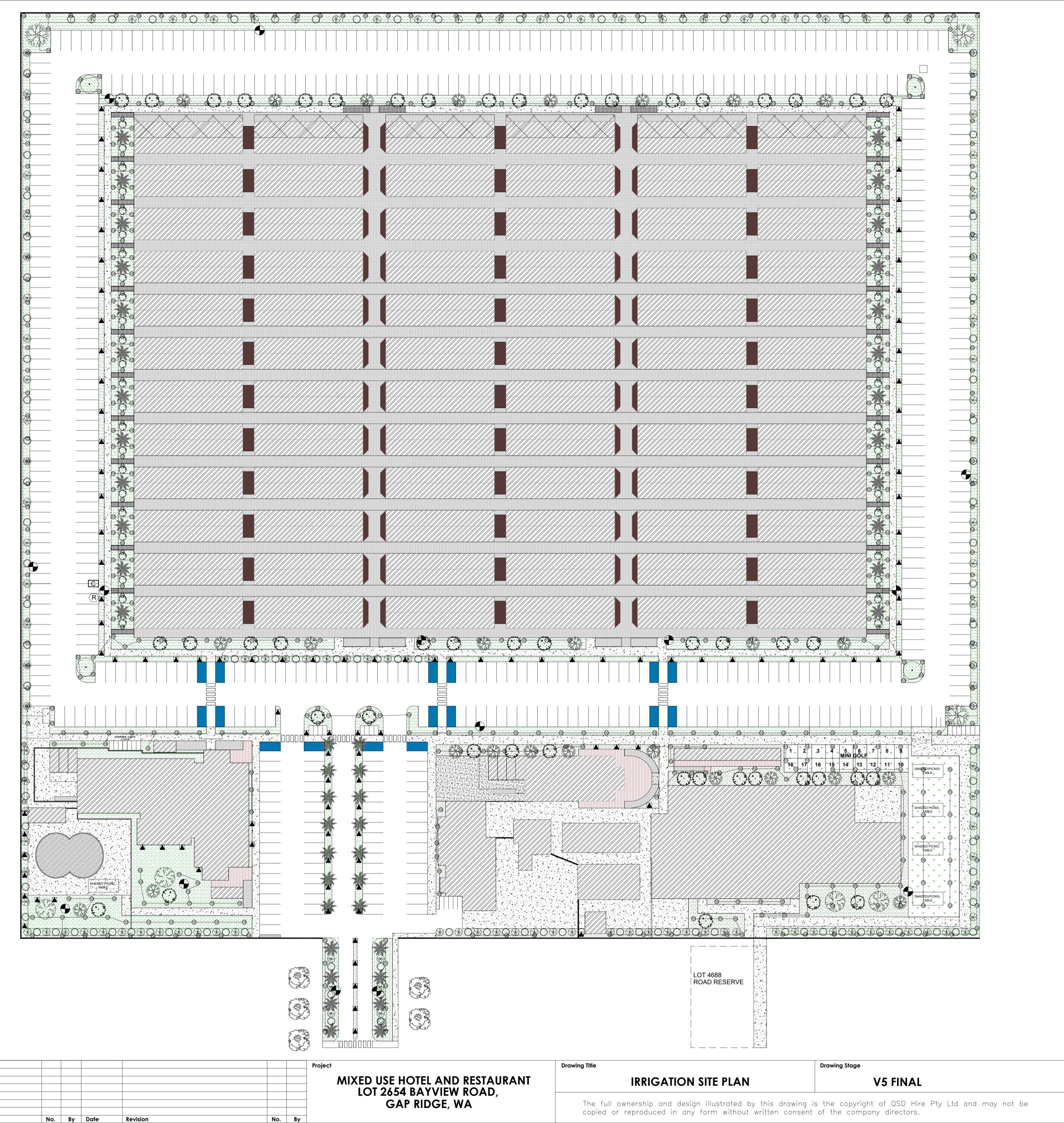
No. By Date

24004-SK

NG CZ 14/03/25 1:200 @ A1

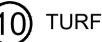
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V5 FINAL



IRRIGATION LEGEND

DRIP SPRAY



10 TURF SPRAY



REMOTE CONTROL VALVE



RAIN SWITCH



Job No. Drawing No.
24004 BAK - 02 - 301
Cad File
24004-SK

CZ Drawn 14/03/25 Scale 1:500 @ A1 Designed **NG**



























LIGHTING LEGEND

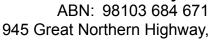
50W IP66 LED FLOOD LAMPS - 45°DOWN TILT 36W IP66 LED BAR LIGHTING 36W IP66 EMERGENCY LED BAR LIGHTING

LV BOLLARD LIGHTING

Job No. Drawing No.
24004 BAK - 02 - 401
Cad File
24004-SK

Designed NG CZ Drawn 13/03/25 Scale 1:500 @ A1

QSD Pty Ltd



Port Hedland, WA 6721 Phone: 9172 4111

Email: accounts@qsdbooks.com.au



13 Mar 2025

LOT 2654 BAYVIEW ROAD, GAP RIDGE, WA

Regarding the External Lighting Plan as attached and shown on drawing No. BAK - 02 - 401.

I can confirm that the electrical design meets the relevant Australian Standards.

Regards,
Can Zhang
On behalf of QSD Pty Ltd
WA EC Licence no: EC 012470

